



WESTERN WEBER PLANNING COMMISSION MEETING

MEETING AGENDA

November 18, 2025

Pre-meeting 4:30/Regular meeting 5:00 p.m.



- Pledge of Allegiance
- Roll Call:

Petitions, Applications, and Public Hearings:

1. Administrative items

1.1 LVB092625: Consideration and action on a request for preliminary approval of Bitton Estates Subdivision Phases 1 through 5. A proposal to develop 32.6 acres into 93 single-family lots.

Presenter: Pat Burns; **Staff Presenter:** Felix Lleverino

1.2 LVT040325: Consideration and action on a request for preliminary approval of the Taylor Landing Subdivision Phase 1B, consisting of 14 lots, public roadways, and the dedication of a 15' wide public pathway easement.

Presenter: Selvoy Fillerup; **Staff Presenter:** Tammy Aydelotte

1.3 LVT060523: Consideration and action on a request for preliminary approval of the Taylor Landing Subdivision Phase 5, consisting of 32 lots, public roadways, and the dedication of two 15' wide public pathway easements.

Presenter: Selvoy Fillerup; **Staff Presenter:** Tammy Aydelotte

1.4 LVTP6060525: Consideration and action on a request for preliminary approval of the Taylor Landing Subdivision Phase 6, consisting of 26 lots, public roadways, and the dedication of a 15' wide public pathway easement, connecting to the Winston Park Subdivision to the east.

Presenter: Selvoy Fillerup; **Staff Presenter:** Tammy Aydelotte

Petitions, Applications, and Public Hearings:

2. Legislative Items

2.1 GPA2025-01: A public hearing on a request to amend the Western Weber General Plan Culinary Water Use table on page 141, add information regarding the Water Conservation Stakeholder Committee on page 141, and add action items to pages 157-160 that incorporate State requirements for water conservation.

Staff Presenter: Felix Lleverino

3. Public Comment for Items not on the Agenda:

4. Remarks from Planning Commissioners:

5. Planning Director Report:

6. Remarks from Legal Counsel

Adjourn

The regular meeting will be held in the Weber County Commission Chambers, in the Weber Center, 1st Floor, 2380 Washington Blvd., Ogden, Utah.

Public comment may not be heard during administrative items. Please contact the Planning Division Project Manager at 801-399-8371 before the meeting if you have questions or comments regarding an item.

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8371

Meeting Procedures

Outline of Meeting Procedures:

- ❖ The Chair will call the meeting to order, read the opening meeting statement, and then introduce the item.
- ❖ The typical order is for consent items, old business, and then any new business.
- ❖ Please respect the right of other participants to see, hear, and fully participate in the proceedings. In this regard, anyone who becomes disruptive, or refuses to follow the outlined procedures, is subject to removal from the meeting.

Role of Staff:

- ❖ Staff will review the staff report, address the approval criteria, and give a recommendation on the application.
- ❖ The Staff recommendation is based on conformance to the general plan and meeting the ordinance approval criteria.

Role of the Applicant:

- ❖ The applicant will outline the nature of the request and present supporting evidence.
- ❖ The applicant will address any questions the Planning Commission may have.

Role of the Planning Commission:

- ❖ To judge applications based upon the ordinance criteria, not emotions.
- ❖ The Planning Commission's decision is based upon making findings consistent with the ordinance criteria.

Public Comment:

- ❖ The meeting will then be open for either public hearing or comment. Persons in support of and in opposition to the application or item for discussion will provide input and comments.
- ❖ The commission may impose time limits for comment to facilitate the business of the Planning Commission.

Planning Commission Action:

- ❖ The Chair will then close the agenda item from any further public comments. Staff is asked if they have further comments or recommendations.
- ❖ A Planning Commissioner makes a motion and second, then the Planning Commission deliberates the issue. The Planning Commission may ask questions for further clarification.
- ❖ The Chair then calls for a vote and announces the decision.

Commenting at Public Meetings and Public Hearings

Public comment may NOT be heard during Administrative items, the Planning Division Project Manager may be reached at 801-399-8371 before the meeting if you have questions or comments regarding an item.

Address the Decision Makers:

- ❖ When commenting please step to the podium and state your name and address.
- ❖ Please speak into the microphone as the proceedings are being recorded and will be transcribed to written minutes.
- ❖ All comments must be directed toward the matter at hand.
- ❖ All questions must be directed to the Planning Commission.
- ❖ The Planning Commission is grateful and appreciative when comments are pertinent, well organized, and directed specifically to the matter at hand.

Speak to the Point:

- ❖ Do your homework. Obtain the criteria upon which the Planning Commission will base their decision. Know the facts. Don't rely on hearsay and rumor.
- ❖ The application is available for review in the Planning Division office.
- ❖ Speak to the criteria outlined in the ordinances.
- ❖ Don't repeat information that has already been given. If you agree with previous comments, then state that you agree with that comment.
- ❖ Support your arguments with relevant facts and figures.
- ❖ Data should never be distorted to suit your argument; credibility and accuracy are important assets.
- ❖ State your position and your recommendations.

Handouts:

- ❖ Written statements should be accurate and either typed or neatly handwritten with enough copies (10) for the Planning Commission, Staff, and the recorder of the minutes.
- ❖ Handouts and pictures presented as part of the record shall be left with the Planning Commission.

Remember Your Objective:

- ❖ Keep your emotions under control, be polite, and be respectful.
- ❖ It does not do your cause any good to anger, alienate, or antagonize the group you are standing in front of.



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for preliminary approval of the Bitton Estates Subdivision Phases 1 through 5. A proposal to develop 32.6 acres into 93 single family lots.

Type of Decision: Administrative

Agenda Date: Tuesday, November 18, 2025

Applicant: Pat Burns

File Number: LVB092625

Property Information

Approximate Address: 601 South 3600 West

Project Area: 32.6

Zoning: R1-15

Existing Land Use: Residential

Proposed Land Use: Residential

Parcel ID: 15-045-0004, 15-046-0063, 15-046-0066, 15-046-0068

Township, Range, Section: Township 6 North, Range 2 West, Section 16

Adjacent Land Use

North:	Residential	South:	Agricultural
East:	Residential	West:	Residential

Staff Information

Report Presenter: Felix Lleverino
fleverino@webercountyutah.gov
801-399-8767

Report Reviewer: TA

Applicable Ordinances

- Title 104, Zones, Chapter 12, Residential (R1-15) Zone
- Title 106, Subdivisions

Development History

- The Bitton-Dee rezone was approved by the Weber County Commission on July 1 2025.
- The Bitton-Dee development agreement was recorded with the Weber County Recorder's Office on September 25, 2025 under Entry Number 3386391.

Background

This is a request for preliminary approval of the Bitton Estates Subdivision, phases 1 through 5, from the Western Weber Planning Commission. The development plan subdivides a 32.6-acre parcel into 93 single-family dwelling lots. The streets throughout the development will be made public, complete with curb, gutter, sidewalk, and street trees.

The proposal has been reviewed against the zoning development agreement, the current subdivision ordinance, and the standards in the R1-15 zone. As part of the preliminary plan requirements and approval procedure, the preliminary plan must be presented to the Planning Commission for its recommendation. The following is staff's evaluation of the request.

Analysis

General Plan: The proposal conforms to the Western Weber General Plan by creating a wider variety of housing types within a residential development that implements smart growth principles.

Zoning: The subject property is located in the Residential (R1-15) Zone.

The purpose of the Residential (R1-15) zone is identified in the LUC § 104-12-1 as:

The purpose of the R1 zone is to provide regulated areas for Single-Family Dwelling uses at four different low-to-medium density levels. The R1 zone includes the R1-15, R1-12, R1-10, and R1-5 zones. Any R-1-12 and R-1-10 zones shown on the zoning map or elsewhere in the Land Use Code are references to the R1-12 and R1-10 zones, respectively.

The lots within the development are designed to comply with the standards set forth in Section 106-2-1.020 as a mandatory feature that results in the maximum density of 2.9 units per acre as calculated from the gross 32.6 acres and a minimum lot area of 6,000 SF by 60'. The single-family lots range in size from 6,000 to 38,000 SF.

Culinary water: The Taylor West Weber Water District will provide culinary water to the Bitton Estates Subdivision Phases one through five. The preliminary letter contains many conditions that must be satisfied before the district will provide water. The county staff will advance this proposal for final subdivision approval when the district provides a final will-serve letter. The planning staff has added a condition of approval that the developer obtain a final will-serve letter before the Planning Director grants final approval. The preliminary will-serve letter contains a typo; the actual expiration date is February 20, 2026.

Pressurized Irrigation water: The Hooper Irrigation Company will provide all of the lots within the Bitton Estates Subdivision Phases one through five with pressurized irrigation water intended for outdoor watering.

The board has further requirements of the developer related to private ditches, connection requirements, and specifications to meeting the Hooper Irrigation standards, See Exhibit D.

Sanitary Sewage Services: Central Weber Sewer District will serve the sanitary sewer treatment services to the Martini Legacy Development. Annexation into the District must be completed before the subdivision plat is recorded.

Geotechnical Study: A geotechnical study prepared by a licensed contractor must be included with the final subdivision application. The study will provide crucial information regarding soil subsurface soil and groundwater conditions and to make recommendations for public street improvements.

Neighborhood Connectivity: The Bitton Estates Subdivision was designed during the rezone process to conform with the street configuration requirements of Section 106-2-1.010 (a) (1), that requires the continuation of existing streets, and Section 106-2-1.020 (c) (1), that sets a maximum block length standard of 800 feet. The Bitton Estates plan satisfies the minimum block length requirements between street intersections for the continuation of street routes while avoiding cul-de-sacs. The plan is also optimized for pathway connectivity.

Additional Standards and Development Agreement:

Review comments from all of the county review agencies regarding subdivision plat and construction drawings revisions shall be addressed before presenting this development proposal for final approval.

Street improvements shall be installed such that at no time shall there be more than 15 lots or 30 dwelling units on a single access street or route before an emergency fire access road, approved by the local fire authority, is installed. The secondary egress must be an all-weather travel surface able to support 75,000 lbs.

The developer agrees to help the county reach its goal of providing at ten acres of public park open space per 1,000 persons. Considering that the development plan does not include open space preservation areas, the developer agrees to donate \$7,500 per residential lot. This shall be remitted to the park district before recording a subdivision plat.

Review the "standards" portion of the development agreement in Exhibit C for more details into the subdivision standards.

Review Agencies: The Bitton Estates preliminary subdivision plan shall comply with all review agency requirements. The Planning and Engineering Department have highlighted deficiencies in the subdivision plat and the construction drawings that shall be addressed before advancement to final subdivision approval. The County Surveyor's Office has reviewed the subdivision plat and deemed it acceptable to progress to final subdivision review. The Weber Fire District is recommending preliminary approval.

Staff Recommendation

Staff recommends preliminary approval of the Bitton Estates Subdivision Phases one through five, consisting of 93 single-family lots. This recommendation is based on all review agency requirements and the following conditions:

1. Taylor West Weber Water District shall provide a capacity assessment letter or a final will-serve letter before final approval from the Planning Division
2. Hooper Irrigation shall provide a capacity assessment letter or final will-serve letter before final recommendation from the Planning Division.
3. Proof of satisfactory contribution towards parks and open space is required before each phase is recorded.
4. Developer is required to show compliance with the recorded development agreement.
5. The civil drawings shall comply with all Weber County Engineering requirements.

The following findings are the basis for the staff recommendation:

1. Bitton Estates Phases one through five conforms to the West Central Weber County General Plan.
2. The lot area and width design are compatible with the concept plan and development agreement.
3. The proposal will not be detrimental to public health, safety, or welfare.
4. The proposal will not deteriorate the environment of the general area to negatively impact surrounding properties and uses.

Exhibits

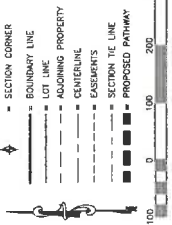
- A. Proposed preliminary plan
- B. Improvement drawings, including the landscape plan
- C. Development Agreement (select pages)
- D. Will serve letters

Area Map



Exhibit A

LEGEND



LOT COUNT

PHASE 1: 59
 PHASE 2: 27
 PHASE 3: 5
 PHASE 4: 5
 TOTAL: 96



Bitton Estates

Weber County, Utah

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REEVE & ASSOCIATES, INC.
 2000 WEST 1000 SOUTH, SUITE 100
 SALT LAKE CITY, UTAH 84119
 (801) 466-1111
 FAX (801) 466-1112
 WWW.REVEE-ASSOCIATES.COM

REVISIONS
 DATE
 DESCRIPTION
 4-30-25 ROAD WIDTH REVISIONS
 7-19-25 BOUNDARY UPDATED
 8-18-25 LOT REVISIONS

Bitton Estates
 PART OF THE WEST HALF OF SECTION 16, T4N, 37E, S10E, U.S. SURVEY
 Preliminary Plan

Project Info:
 Engineer: N. Davis
 Planner: C. Carr
 Designer: J. Davis
 Date: 4-30-25
 Name:
 BITTON ESTATES
 Number: 2024-03

Sheet 1 of 3
 3 Sheets

PART OF THE SOUTH HALF OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 2 WEST,
SALT LAKE BASE AND MERIDIAN, U.S. SURVEY. MORE PARTICULARLY DESCRIBED AS
FOLLOWS:

[illegible]

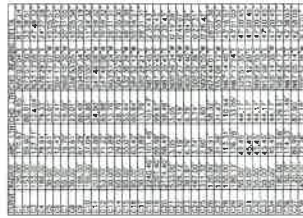
Diagram illustrating the cross-section of a street section (Future 100' R.O.W.) for 3600 West Street.

The diagram shows the following components and dimensions:

- Future 50'-0"**: The total width of the future right-of-way section.
- Proposed 24" (Proposed) and Existing Asphalt**: The top layer of the road surface.
- Proposed Asphalt (Width Varies)**: The width of the proposed asphalt section.
- Existing Asphalt (Width Varies)**: The width of the existing asphalt section.
- Slope = 2.0% Min.**: The minimum slope of the proposed asphalt section.
- Proposed Asphalt on West Side of Street**: The proposed asphalt section on the west side of the street.
- 6" Untreated Base Course**: The base layer of the road.
- Bituminous Seal Coat**: The seal coat layer.
- 1/2" Sand**: The sand layer.
- 3600 West Street**: The street name.
- Street Section (Future 100' R.O.W.)**: The title of the diagram.
- 1984-24 PER COUNTY ENGINEER**: The date and engineer's name.

*VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.

LINE TABLE

[illegible][illegible][illegible]

Weber County, Utah

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REDUC & ASSOCIATES, INC., 5110 S. 1360 N., MENDOTA, ILL. 61850, AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REDUC & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS ON THE DESIGN THEREOF WITHOUT THEIR CONSENT.

Details Sheet PART OF THE WEST HALF OF SECTION 16, T.6N., R.2W., S.18&N., U.S. SURVEY WEBER COUNTY, UTAH	
Bitton Estates	
DATE 4-30-75 REVISION 10-1-75 ROAD WIDTH REVISIONS BOUNDARY UPDATED 7-15-75 8-19-75 LOT REVISIONS	

Project Info.
 Engineer: N. Stern
 Planner: C. Carr
 Designer: S. Schwartz
 Date: 4-2-82
 Name:
 BITTON ESTATES
 Number: 6298-39

BUILDABLE AREA TABLE

LOT	AREA	AREA
1	357.3	F
2	357.3	F
3	357.3	F
4	357.3	F
5	357.3	F
6	357.3	F
7	357.3	F
8	357.3	F
9	357.3	F
10	357.3	F
11	357.3	F
12	357.3	F
13	357.3	F
14	357.3	F
15	357.3	F
16	357.3	F
17	357.3	F
18	357.3	F
19	357.3	F
20	357.3	F
21	357.3	F
22	357.3	F
23	357.3	F
24	357.3	F
25	357.3	F
26	357.3	F
27	357.3	F
28	357.3	F
29	357.3	F
30	357.3	F
31	357.3	F
32	357.3	F
33	357.3	F
34	357.3	F
35	357.3	F
36	357.3	F
37	357.3	F
38	357.3	F
39	357.3	F
40	357.3	F
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42	357.3	F
43	357.3	F
44	357.3	F
45	357.3	F
46	357.3	F
47	357.3	F
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90	357.3	F
91	357.3	F
92	357.3	F
93	357.3	F
94	357.3	F
95	357.3	F
96	357.3	F
97	357.3	F
98	357.3	F
99	357.3	F
100	357.3	F



SETBACK NOTE

ZONE R1-15
 FRONT SETBACK: 15'
 SIDE SETBACK: 15'
 CORNER LOT SETBACK: 15'
 REAR SETBACK: 20'

Bitton Estates

Weber County, Utah

Project Narrative/Notes/Revisions

- 05/09/2023 CK - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 05/10/2023 CK - REVISIONS INCORPORATED.
- 05/10/2023 CK - REVISED FORESTMAN CROSSINGS

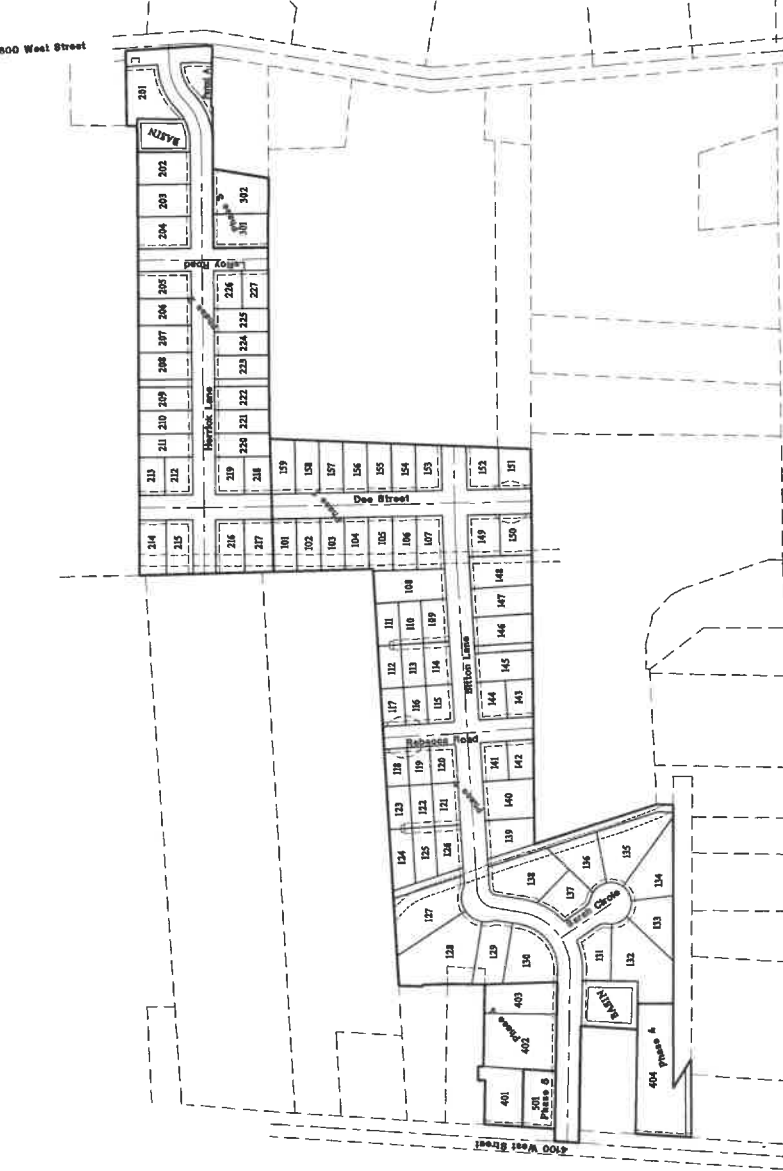
Exhibit B

Bitton Estates Subdivision Improvement Plans

WEBER COUNTY, UTAH
APRIL 2023



VICINITY MAP
(NOT TO SCALE)



Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend/Details
- Sheet 3 - Existing Site & Demolition Plan
- Sheet 4 - Bitton Lane 0+00.00 - 4+50.00
- Sheet 5 - Bitton Lane 4+50.00 - 9+30.00
- Sheet 6 - Bitton Lane 9+30.00 - 14+10.00
- Sheet 7 - Bitton Lane 14+10.00 - 18+00.00
- Sheet 8 - Bitton Lane 18+00.00 - 20+25.00
- Sheet 9 - Herrick Lane 0+00.00 - 4+50.00
- Sheet 10 - Herrick Lane 4+50.00 - 9+30.00
- Sheet 11 - Herrick Lane 9+30.00 - 14+10.00
- Sheet 12 - Sarah Circle 0+00.00 - 2+85.00
- Sheet 13 - Rebecca Road 0+00.00 - 4+00.00
- Sheet 14 - Dee Street 0+00.00 - 10+50.00
- Sheet 15 - Dee Street 10+50.00 - 34+45.00
- Sheet 16 - Leroy Road 0+00.00 - 5+00.00
- Sheet 17 - 3600 West Street 0+00.00 - 5+00.00
- Sheet 18 - Private Drive (West) 0+00.00 - 2+50.00
- Sheet 19 - Private Drive (East) 0+00.00 - 2+50.00
- Sheet 20 - 4100 West Street - 1+00.00 - 5+00.00
- Sheet 21 - 4100 West Street - 5+00.00 - 10+25.00
- Sheet 22 - Grading & Drainage Plan
- Sheet 23 - Grading & Drainage Plan (Continued)
- Sheet 24 - Utility Plan
- Sheet 25 - Utility Plan (Continued)
- Sheet 26 - Basin Details
- Sheet 27 - Basin Details
- Sheet 28 - Street Cross Sections
- Sheet 29 - Storm Water Pollution Prevention Plan Exhibit
- Sheet 30 - Storm Water Pollution Prevention Plan Details
- Sheet 31 - Street Tree Plan
- Sheet 32 - Detention Basins Landscape Plan

Sheet Index Key Map
(NOT TO SCALE)



DATE	DESCRIPTION
05-23-23	CK - Final Cover Sheet
05-28-23	CK - Final Cover Sheet
05-10-23	CK - Final Cover Sheet

Bitton Estates
Improvement Plans
WEBER COUNTY, UTAH
Cover/Index Sheet



Project Info:
Owner: REEVE & ASSOCIATES, INC.
Designer: M. LUNTZ, P.E.
Begin Date: APRIL 2023
Name: BITTON ESTATES
SUBDIVISION
Number: 2023-39

1
Total Sheets

Engineer's Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY LINES OR STRUCTURES ARE NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND MARK ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



Project Contact:
Matthew L. Luntz, P.E.
Reeve & Associates, Inc.
5180 South 1500 West
Salt Lake City, UT 84143
PH: (801) 821-3100

Geotechnical Report:
Christensen Geotechnical
8143 South 2475 East
Salt Lake City, UT 84143
PH: (801) 821-3100

Surveyor:
Reeve & Associates, Inc.
5180 South 1500 West
Salt Lake City, UT 84143
PH: (801) 821-3100



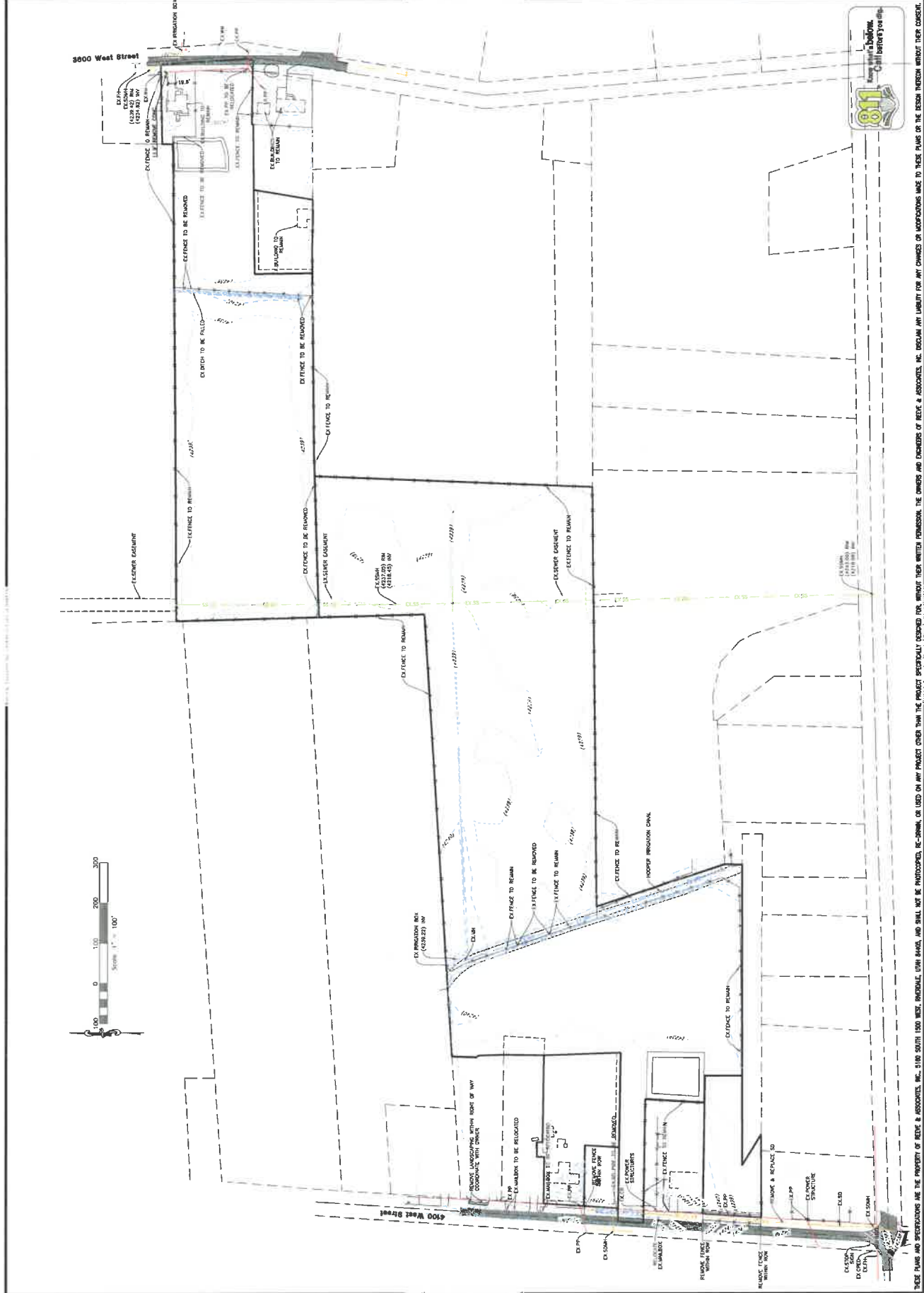
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REVISIONS	DATE	DESCRIPTION
09-10-20	CK	Final Construction
09-08-20	CK	Final Construction
09-02-20	CK	Final Construction

Bitton Estates Improvement Plans
 WEBER COUNTY, UTAH
Existing Site & Demolition Plan



Project Info:
 Owner: KENNETH H. HINKLE, P.C.
 Designer: KANGSLEY
 Date: APRIL 2022
 Name: BITTON, ESTATES
 Subdivision: SUBDIVISION
 Number: 8208-39



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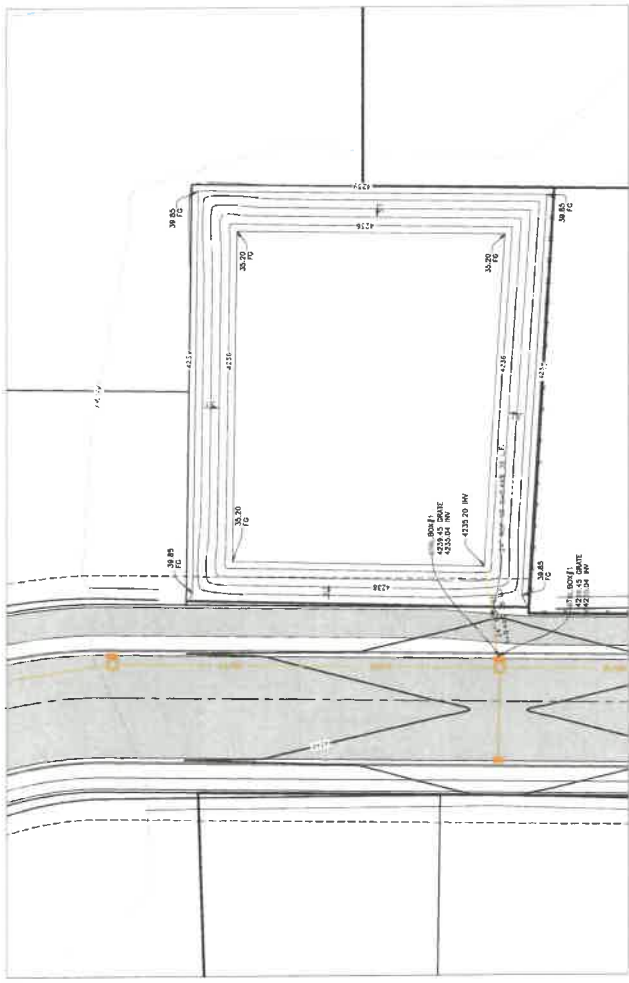
DATE	DESCRIPTION	REVISIONS
09-23-20	CK Sewer Details	
09-28-20	CK Paid Corrections	
09-10-20	CK Paid Corrections	

Bittion Estates
Improvement Plans
 WEBER COUNTY, UTAH
 Details

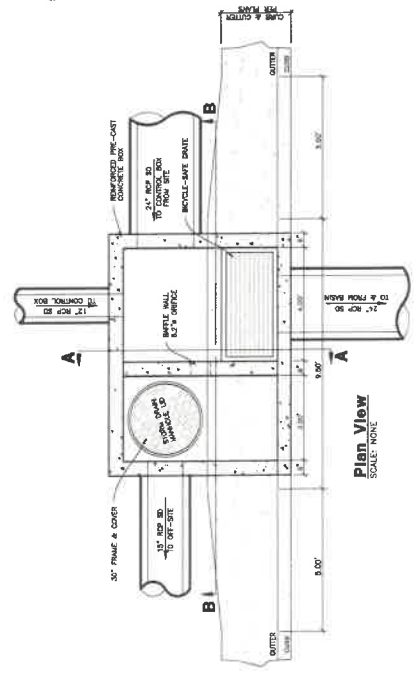


Project Info:
 Project Name: Bittion Estates
 Location: KANAB, UT
 Owner: C. RUGGLEY
 Design Date: 09/23/2020
 Name: BITTION ESTATES
 Subdivision:
 Number: 006C-38

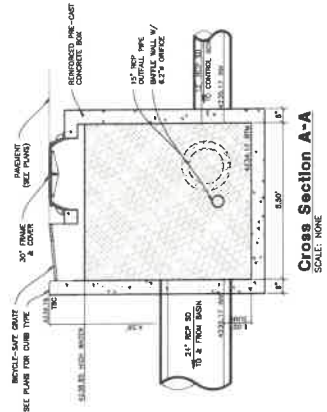
WEST BASIN - STAGE STORAGE TABLE				
ELEV	AREA (sq. ft.)	DEPTH (ft.)	CONC. INC. VOL. (cu. ft.)	CONC. TOTAL VOL. (cu. ft.)
4235.20	11.120	N/A	N/A	0
4235.00	12.126	0.80	9296	9296
4234.80	13.268	1.00	12811	22107
4234.60	14.568	1.00	14332	36339
4234.40	16.028	0.85	13772	49811
4234.20	16.505	0.15	2458	52269
4234.05	17.889	0.85	14605	66875
				FREEDOM



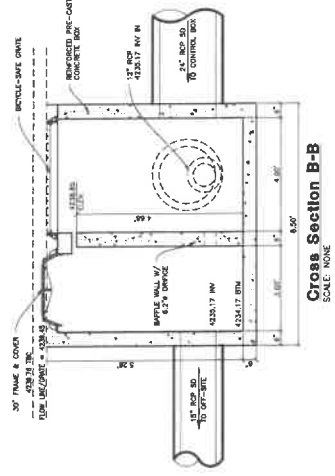
West Basin
 SCALE: 1" = 20'



Plan View
 SCALE: NONE



Cross Section A-A
 SCALE: NONE

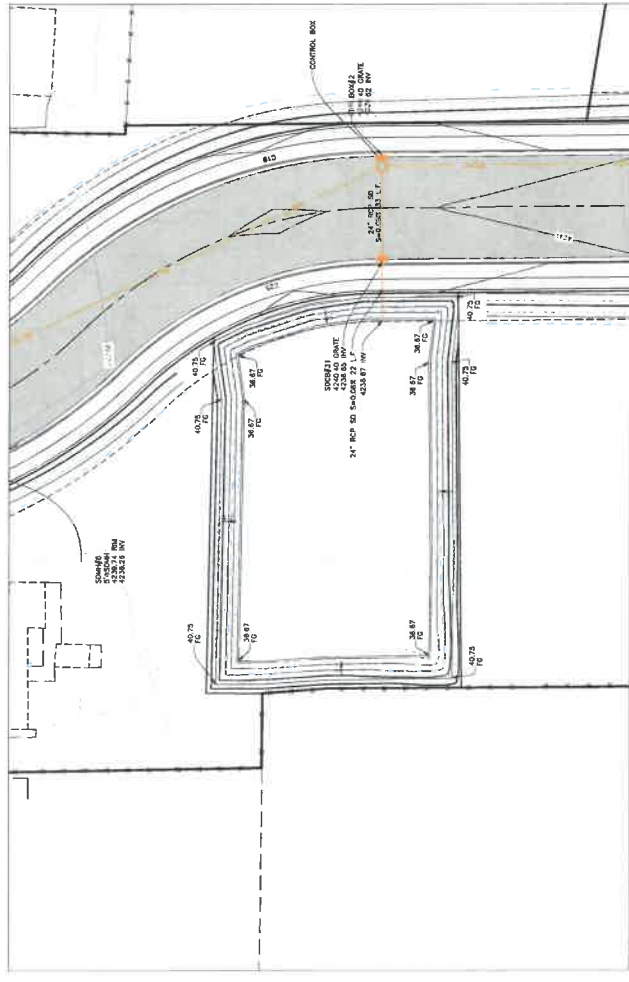


Cross Section B-B
 SCALE: NONE

West Basin Control Box/ Combo Box
 SCALE: NONE

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. 5180 SOUTH 1000 WEST, MIDWINTER, UTAH 84050. AND SHALL NOT BE REPRODUCED, RE-COMPILED, OR USED IN ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR WITHOUT THEIR WRITTEN PERMISSION. THE OWNER AND DESIGNERS OF REEVE & ASSOCIATES, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREOF WITHOUT THEIR CONSENT.

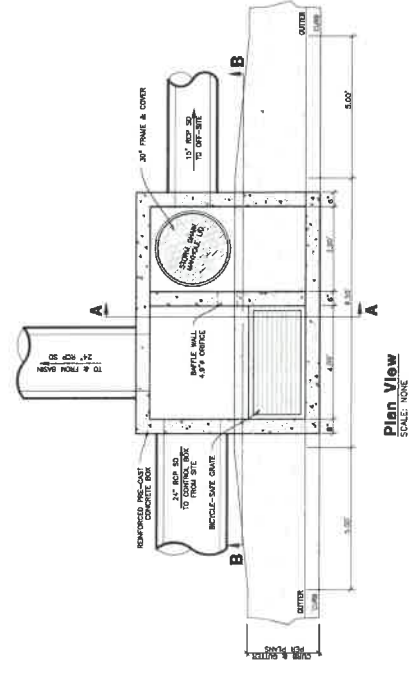
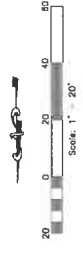
DATE	DESCRIPTION
09-10-20	OK PMS CORRECTIONS
09-28-20	OK PMS CORRECTIONS
10-23-20	OK SWEET DESIGNS



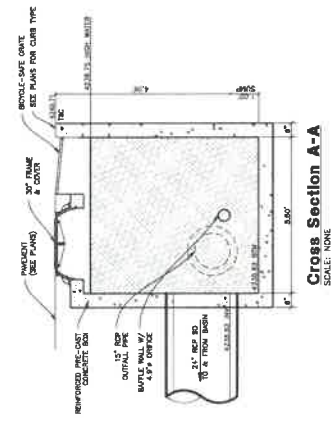
East Basin
 SCALE: 1/32" = 1'-0"

EAST BASIN - STAGE STORAGE TABLE

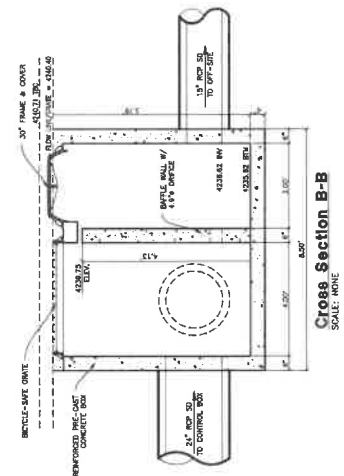
ELEV.	AREA (sq. ft.)	DEPTH (ft.)	CONC. INC. VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	
4,235.70	7,764	N/A	N/A	0	BOTTOM
4,237.00	7,985	0.30	2,362	2,362	
4,238.00	8,752	1.00	8,366	10,728	
4,239.00	9,257	1.00	9,151	19,880	
4,239.75	10,186	0.75	7,402	27,283	HIGHWATER
4,240.00	10,400	0.25	2,573	29,856	
4,240.75	11,056	0.75	8,044	37,901	HIGHWATER



Plan View
 SCALE: NONE



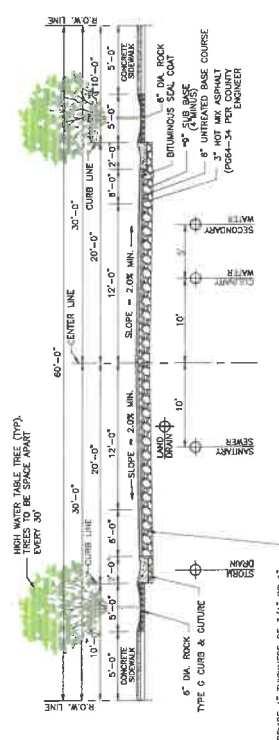
Cross Section A-A
 SCALE: NONE



Cross Section B-B
 SCALE: NONE

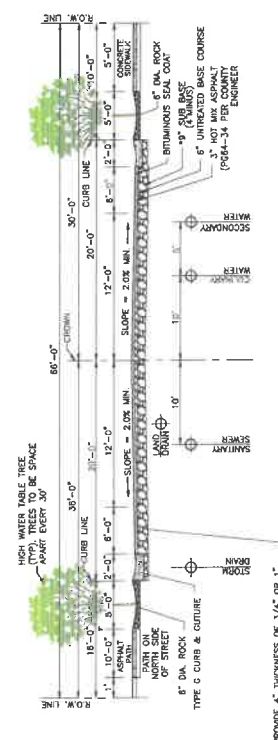
East Basin Control Box/ Combo Box
 SCALE: NONE

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF HENKE & ASSOCIATES, INC. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR USED IN ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THE WRITTEN PERMISSION OF HENKE & ASSOCIATES, INC. NO GUARANTEE OR LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR SPECIFICATIONS SHALL BE ASSUMED BY HENKE & ASSOCIATES, INC.



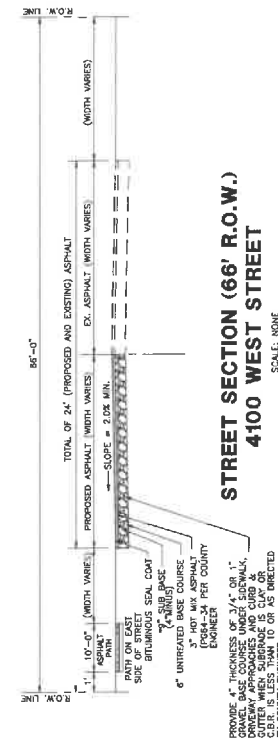
**STREET SECTION (60' R.O.W.)
(STREETS 'A' & 'B', HERRICK LANE &
LEROY ROAD)**

SCALE: NONE
 *VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.



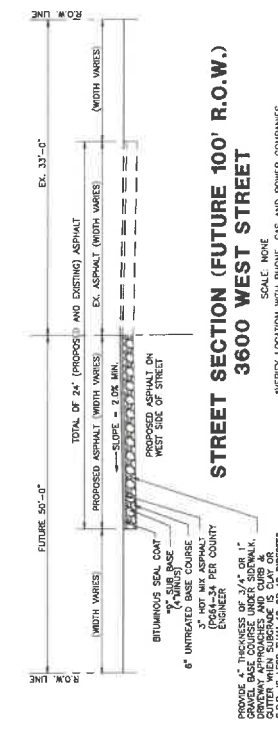
**STREET SECTION (66' R.O.W.)
(BITTON LANE & STREET 'C')**

SCALE: NONE
 *VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.



**STREET SECTION (66' R.O.W.)
4100 WEST STREET**

SCALE: NONE
 *VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.



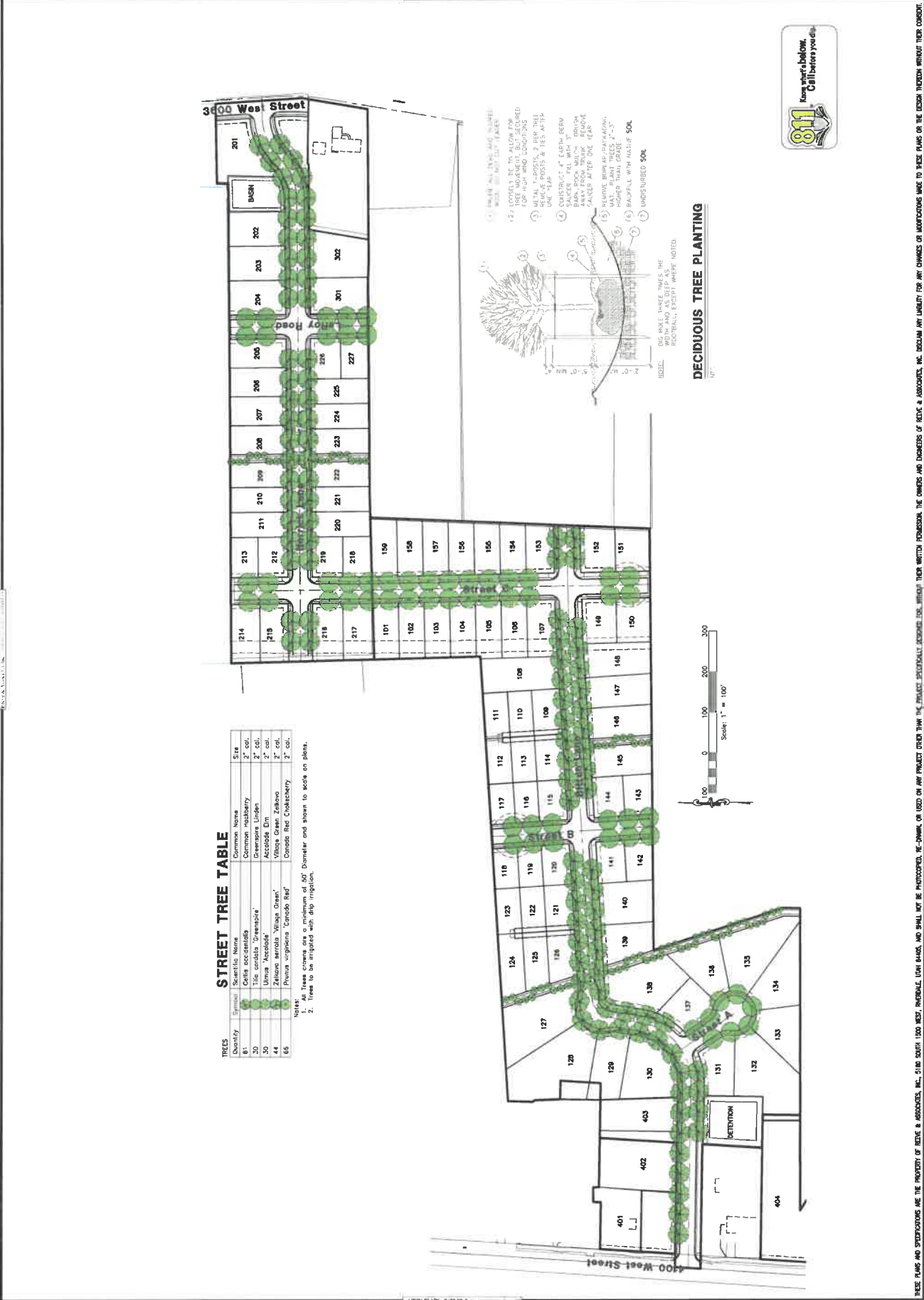
**STREET SECTION (FUTURE 100' R.O.W.)
3600 WEST STREET**

SCALE: NONE
 *VERIFY LOCATION WITH PHONE, GAS AND POWER COMPANIES.

REVISIONS	DATE	DESCRIPTION



PREPARED BY:
 NATHAN C. PETERSON
 ENGINEER
 DATE: APRIL 2023
 PROJECT: BITTON ESTATES
 SUBMISSION
 NUMBER: 2023-39



STREET TREE TABLE

Quantity	Symbol	Scientific Name	Common Name	Size
61		<i>Celtis occidentalis</i>	Common hackberry	2" cal.
20		<i>Ulmus americana</i>	American Elm	2" cal.
30		<i>Ulmus americana</i>	American Elm	2" cal.
44		<i>Ulmus americana</i>	American Elm	2" cal.
66		<i>Ulmus americana</i>	American Elm	2" cal.

Notes:
 1. All trees shall be a minimum of 40' Diameter and shall be able to scale on plants.
 2. Trees to be irrigated with drip irrigation.



The Project is located on the Property as described in **Exhibit A – Property Legal Description**, and illustrated in **Exhibit B – Property Graphic Depiction**.

8. Development Standards.

- 8.1. Project Density.** In exchange for the benefits offered by the Master Developer in this Agreement, County agrees to allow no more than the following amount of dwelling units in the Project.
 - 8.1.1.** 93 total single-family dwelling units.
 - 8.1.2. Reserved**
- 8.2. Phasing.** The County acknowledges that Master Developer, Assignees of Master Developer, and/or Subdevelopers who have purchased Parcels of the Property may submit multiple applications from time-to-time to develop and/or construct portions of the Concept Plan for the Project in Phases. Allowance for Phasing is subject to the following and any other Phasing provision in this Agreement:
 - 8.2.1. Construction Drawings Required.** Phasing is only allowed if each Phase is based on an approved final plat that succeeds an approved preliminary plat/plan. A final plat for a Phase shall not be submitted or accepted until after a complete set of construction drawings for the entire preliminary plat has been approved by the County Engineer. The construction drawings shall include all required Improvements of this Agreement and the Code.
 - 8.2.2. Streets and Pathways.** Each Phase shall provide for the logical extension of Improvements of the public road and pathways system as conceptually represented in the Concept Plan;
 - 8.2.3. Project Improvements.** Each Phase shall provide logical extension of Improvements through and throughout the Project as approved by the County in compliance with the terms of this Agreement and other applicable provisions of the Code.
 - 8.2.4. Public Park Open Space.** Each Phase shall include its proportionate share of Public Park Open Space area and Improvements including, if applicable, pathways and trailheads. Each Phase shall provide for the platting and installing of a proportionate share of Public Park Open Space area and Improvements, even if such area or Improvements are not within or immediately adjacent to the subject Phase. Developer may propose which Public Park Open Space area and Improvements are provided for each Phase; however, the County has full discretion to require other Public Park Open Space area and Improvements if the County determines it is in the best interest of the community.
- 8.3. Street Connectivity.** Master Developer hereby volunteers and agrees to follow the minimum street and pathway connectivity standards as provided in **Section 106-2-1.020** of the Code. The County also agrees that the conceptual street layout illustrated in **Exhibit C – Concept Plan** satisfactorily complies with that code section.
- 8.4. Street Right-of-Way Dedication.** Master Developer agrees to dedicate or, if allowed by the County, otherwise reserve the Project's street rights-of-way, as illustrated and labeled in **Exhibit C – Concept Plan**, as public thoroughfares at no cost to the County.
 - 8.4.1. Minimum Requirements.** Each street right-of-way shall meet the minimum applicable width specifications illustrated in **Exhibit E – Street Cross Sections**.

8.4.2. Project-Specific Right-of-Way Dedication.

8.4.2.1. The 3600 West Street is a 100' ROW.

8.4.2.2. The 4100 West Street is a 66' ROW.

8.5. Street Improvements. Streets in or immediately adjacent to the Project shall be designed and installed by the Master Developer in accordance with their corresponding street cross sections depicted in Exhibit E – Street Cross Sections and as more specifically provided as follows.

8.5.1. Project-Specific Street Improvements. All street improvement shall at minimum meet applicable Weber County specifications and street construction requirements. Project-specific street Improvements include Improvements required to street rights-of-way that are adjacent to the Project, and to offsite streets as follows.

8.5.1.1. 4100 West Street. Developer shall make the necessary street improvements to 4100 West which may include, but is not limited to, the installation of additional asphalt, grading, and compacted road base as directed by the County Engineer and as determined appropriate in the sole discretion of the County Engineer and in compliance with Exhibit E. Developer shall construct said street improvements on areas of the subdivision boundary fronting 4100 West and extending to the south to 900 South Street.

8.5.1.2. 3600 West Street. Developer shall make the necessary street improvements to 3600 West which may include, but is not limited to, the installation of additional asphalt, grading, and compacted road base as directed by the County Engineer and as determined appropriate in the sole discretion of the County Engineer and in compliance with Exhibit E. Developer shall construct said street improvements on areas fronting the subdivision boundary and continuing to the intersection of 3600 West and 725 South.

8.5.2. Sidewalks. Master Developer agrees that all public sidewalks in the project or along adjacent public rights-of-way shall be no less than five feet wide.

8.5.3. Driveway Accesses along Collector or Arterial Streets. Master Developer agrees that no lot will be platted to provide driveway access to any collector or arterial street. County agrees to allow these lots to front these streets if they are provided access by means other than these streets.

8.5.4. Street Trees. All streets shall be lined with shade trees in the park strip. Trees lining an adjacent and parallel sidewalk or pathway shall suffice for the street's trees.

8.5.4.1. Tree Canopy. Except as otherwise provided herein, the trees shall be planted in intervals and of a species such that the expected tree crown will converge with the expected tree crown of the trees adjacent. The expected tree crown shall be the average crown of the tree species at maturity. County shall allow for reasonable gaps between expected tree crowns to accommodate driveways, streets, intersection clear-view triangles, and other right-of-way accommodations as determined appropriate by County. A reasonable gap is the width or expected width of the accommodation(s).

8.5.4.2. Tree Selection. At least two different tree varieties selected from County's adopted tree list shall be used and dispersed in a manner that avoids transmission of pests/disease, or as may otherwise be specified

by a an arborist certified by the International Society of Arborists, such that the trees have optimal chance of long-term survival.

8.5.4.3. Tree Size. No tree with a caliper less than two inches, as measured at the top of the root collar, shall be planted.

8.5.4.4. Certificate of Occupancy. No final certificate of occupancy for a dwelling unit shall be granted or effective until after the installation of all proposed trees, which shall clearly be in good health, in the park strip to which the lot is abutting.

8.5.5. Street Tree Installation and Maintenance Alternatives. Developer has the following two installation and maintenance alternatives options for street trees, or some combination if mutually agreeable by the Developer and Planning Director:

8.5.5.1. Master Developer Controlled:

8.5.5.1.1. Planting. Tree planting shall be in accordance with best practices. Care shall be taken when planting a tree or when placing anything at the base of the tree so that the root's soils are not compacted.

8.5.5.1.2. Tree Watering. Master Developer agrees to provide each street tree with a watering mechanism tied either to a homeowner's association master meter, or tied directly to the meter providing secondary water to the lot fronting the street Improvements. County may allow alternative tree watering methods if Master Developer:

8.5.5.1.2.1. can provide a watering plan that the County determines sufficient and appropriate for the health of the tree; and

8.5.5.1.2.2. volunteers to be responsible for tree care, pursuant to **Section 8.5.5.1.3**, for an additional two years after the end of the warranty period.

8.5.5.1.3. Tree Care. Master Developer agrees to be responsible for tree health throughout the duration of the warranty period, after which the owner of the lot fronting the Improvements is responsible for the tree's health.

8.5.5.2. County Controlled:

8.5.5.2.1. At Master Developer's expense, County shall contract with an arborist certified by the International Society of Arborists to install the trees. Master Developer shall provide a cash escrow for the full estimated cost of the installation as is typically required, including reasonable contingency costs and reasonable costs for tree replacements based on the average rate of establishment failure within the first year. If requested by the County, Master Developer agrees to periodically increase the escrow or reimburse the County to cover reasonable costs resulting from increases in labor and materials and/or inflation. Master Developer further agrees that County has full authority to draw from this escrow at any time

to pay for the installation of street trees. For this alternative, County agrees to waive the required warranty period for the trees.

8.5.5.2.2. Master Developer agrees on behalf of itself and future lot owners that no final certificate of occupancy shall be issued for any building until after the required trees and appropriate and operating irrigation mechanisms for the trees are installed. County shall have full authority, based on recommendations from its tree professional, to determine what an appropriate and operating irrigation mechanism is.

8.5.5.2.3. If no appropriate and operating irrigation mechanism is provided, Master Developer agrees to compensate County for reasonable costs to routinely irrigate installed trees by whatever reasonable means necessary. County may recoup this cost from the adjoining lot owner if unable to recoup from Master Developer.

8.5.5.2.4. Master Developer shall provide each lot owner notice upon each lot sale of the tree installation program, including the owner's responsibility for long-term irrigation and tree maintenance pursuant to the Code.

8.5.6. Public Landscaping. The following are required for required landscaping within public rights-of-way and along public pathways:

8.5.6.1. Other Landscaping. Plantings in addition to street and pathway trees may be placed within parkstrips and along pathways by the Master Developer or homeowners, to be operated and maintained either by the adjoining owner or a homeowners association.

8.5.6.2. Construction Drawings to Include Landscaping. Each Development Application submitted shall provide a detailed Public Landscape plan that, at a minimum, shows landscaping materials proposed to be used, the proposed location, species, including the measurements of each tree's mature crown, and the method of vegetation irrigation.

8.5.6.3. Quality Control. For best practices quality control, planting shall be conducted based on the recommendations from, and under the supervision of, an arborist certified by the International Society of Arborists. Written confirmation that best practices and provisions of this Agreement pertaining to Public Landscaping were followed for each planting or installation shall be provided to the County from the arborist, along with the certification number of the arborist, prior to the release of any financial guarantee for the Public Landscaping.

8.5.7. Offsite or Project-Specific Street Improvements. Master Developer agrees to construct, or cause to be constructed, the following.

8.5.7.1. Street asphalt improvements to 4100 West Street, typical of a 66-foot public ROW with a ten-foot pathway on the east side of the street, are made from the north property line of 698 South to 900 South Street to connect with the 900 South Street and street adjacent pathway.

- 8.5.7.2. The street labeled (B) shall follow the major residential cross section in Exhibit E with the ten foot pathway on the south side of the street.

8.5.8. Secondary Egress.

- 8.5.8.1. Master Developer agrees that as the project is platted and constructed, street improvements shall be installed such that at no time shall there be more than 15 lots or dwelling units on a single access street or route of streets before a second egress is installed. The second egress shall not loop back on any part of the single access street or route of streets.

8.6. Non-Public Landscaping to be Water-Wise. All lots within the development will implement water-wise landscaping measures as follows.

- 8.6.1. **Smart Watering Controller.** A smart watering controller shall be installed and prewired for at least six irrigation zones. Pre-wiring includes the installation of a smart watering controller mounted near a 120 volt power outlet, and sufficient control wiring to reach the intended location of the valve box(es). The controller shall be installed on the lot prior to issuance of a certificate of occupancy.

8.6.2. Water-wise landscaping. All lots within the development will implement water wise landscaping measures as follows:

- 8.6.2.1. **Lawns.** No more than 20 percent of any lot shall be covered in turf grass. Turf grass should be watered by sprinkler heads that provide head-to-head coverage and matching precipitation rates. Spray, rotor, or rotary heads must be separated by watering valves operated by separate clock stations at the watering controller.
- 8.6.2.2. **Mulched Areas.** Mulched areas shall be mulched to a depth of at least four inches. Mulch may include organic materials such as wood chips, bark, and compost. It may also include inorganic materials such as decorative rock, cobble, or crushed gravel. Recycled materials such as rubber mulch may also be used.
- 8.6.2.3. **Shrub Bed Watering.** Shrub beds shall be watered with drip watering systems using in-line drip emitters, such as Netafim, on a grid system or point-source emitters that provide water directly to the base of each plant.

8.7. Utilities.

- 8.7.1. **Burying Utilities.** Master Developer agrees to underground all utilities, both existing and proposed, within the Property and within any right-of-way adjacent to the Property in a manner that complies with adopted standards. This shall include but is not limited to canals, ditches, stormwater infrastructure, and existing overhead utilities. Long distance high voltage power transmission lines are exempt from this requirement.

- 8.7.2. **Sanitary Sewer.** Prior to issuance of the first Building Permit for the Project, Master Developer shall have the right and the obligation to construct or cause to be constructed a sewer collection and conveyance system.

- 8.7.2.1. **Sewer Treatment.** Master Developer recognizes that County is not a provider for sewer treatment services. Master Developer shall arrange sewer treatment services for the Project with a provider prior to submittal of a Development Application. If within an existing sewer district's adopted future annexation area, Master Developer agrees to annex the Property

into the sewer district boundaries, if the sewer district allows it, prior to submittal of a Development Application. If the sewer district does not allow the annexation, County agrees that Master Developer may pursue other sewer treatment options that do not involve the County.

8.7.2.1. Gravity Sewer Collection Lines. Master Developer agrees to install, or cause to be installed, a gravity sanitary sewer collection system to, throughout, and across the Property. The system shall stub to all lots or parcels within the Project that needs or will in the future need a sewer connection, and to adjacent properties in locations approved by the County Engineer, including, if applicable, offsite parcels to which **Section 36-1-1** of the Code applies. It shall be of sufficient size and at sufficient depth necessary to convey the anticipated future volume of sewage of the area, or lift station if applicable, at buildout, from the Project area to the lift station, as generally shown on the County's sewer master plan or as otherwise required by the County Engineer. The system shall be constructed to the specifications of the County.

8.7.3. Culinary and Secondary Water. Master Developer recognizes that the County does not provide culinary or secondary water to the area and has no obligation to help Master Developer gain access to water services. Prior to issuance of the first Building Permit for the Project, Master Developer shall have the right and the obligation to construct or cause to be constructed culinary water and pressurized secondary water Improvements to and across the Property. Master Developer agrees to secure both culinary and secondary water from an existing culinary and secondary water provider in the area.

8.7.4. Stormwater. Master Developer shall have the right and obligation to install a storm water drainage and detention system sufficient to support the storm water and drainage needs of the Project and adjacent public streets. The system shall be sized to support the anticipated storm water and drainage needs of the Project at full build-out such that multiple new drainage or detention facilities are avoided if possible in the future. The County Engineer has discretion to require the storm water facilities to be sized to accommodate the general area's anticipated storm water and drainage needs at the area's buildout or as otherwise recommended by the stormwater master plan. Unless otherwise allowed by the County Engineer, the storm water from the Project shall be sufficiently treated, as approved by County Engineer, before discharging into the Weber River or other water body.

8.7.4.1. Stormwater Storage Ownership and Maintenance. The County reserves the right to require the maintenance of a stormwater storage facility to be the responsibility of a homeowner's or landowner's association in the event the County Engineer determines that the proposed facility presents an inordinate demand for services.

8.8. Parks and Open Space. Master Developer agrees to help the County reach its goal of providing at least ten acres of Public Park Open Space per 1,000 persons. Master Developer understands that the creation and/or preservation of parks and open space is a critical part of the County's consideration for this Agreement, the associated rezone, and the additional density given. Further, the Parties agree that the per-dwelling unit cost to build parks to this standard in 2024 dollars equals approximately \$7,500.00. Given this, Master Developer agrees to provide, at no cost to the County, for the following parks, open space, and trails amenities:

8.8.1. Parks Financial Donation. Master Developer agrees to donate \$7,500, adjusted by the annual rate of inflation, per residential lot to the County or, if required by the County,

the Taylor West Weber Park District. The inflation-adjusted amount will be calculated using the "Consumer Price Index for All Urban Consumers: All Items," using \$7,500.00 in 2024 dollars as the baseline. Master Developer agrees that this is a donation offered of the Master Developer's own free will as part of the consideration for this Agreement and associated rezone, which is a voluntary development choice made by Master Developer in lieu of developing using the Prior Zone. As such, this donation is not a fee or exaction imposed by the County or Park District. Master Developer agrees to remit these funds prior to recordation of a subdivision plat. No building division or planning division application will be accepted or approved, and any that are approved shall be void, until the County receives this donation or a written confirmation of receipt of it from the Park District, if applicable.

- 8.9. Pathways and Trailheads.** Master Developer agrees to help the County's reach its goal of providing a walkable community wherein neighborhoods are interlinked to each other and to community destinations. Master Developer understands that the creation and interconnection of trails/pathways is a critical part of the County's consideration for this Agreement, the associated rezone, and the additional density given. As such, Master Developer agrees to install or cause to be installed the pathways as generally configured on the attached Concept Plan (Exhibit C – Concept Plan) and as otherwise specified as follows.

- 8.9.1. Pathway and Trailhead Dedication.** Master Developer agrees to dedicate the minimum area required for proposed pathways and, if applicable, trailheads. The minimum required pathway right-of-way and trailhead dedication shall comply with the configuration in the attached **Concept Plan (Exhibit C – Concept Plan)**, and **Pathway Cross Section (**

- 8.9.2. Exhibit F – Non-Street-Adjacent Pathway Cross Section**, or if adjacent to a street, **Exhibit E – Street Cross Sections**). Pathway right-of-way and trailhead area shall count toward the minimum required Public Park Open Space area specified in **Section Error! Reference source not found.** of this Agreement. Dedication of pathway rights-of-way and trailhead area shall comply with that section, with the term “Park” being supplanted with the term “pathway” or “trailhead” as may be contextually applicable, except that the per-lot pro-rata share of pathway right-of-way shall be based on the amount of linear feet of pathway that can be constructed within such right-of-way and not solely on acreage.
- 8.9.3. Pathway Improvements.** Unless specified in this Agreement otherwise, Master Developer agrees that each proposed pathway right-of-way, pursuant to **Exhibit C – Concept Plan**, or required pathway right-of-way shall be developed as an improved pathway.
- 8.9.3.1. Required Pathways.** Regardless of what is displayed in **Exhibit C – Concept Plan**, a street-adjacent pathway shall be installed along each major residential, collector, and arterial street within or immediately adjacent to the Property.
 - 8.9.3.2. Pathway Trees.** Each pathway and sidewalk within the Project or along adjoining pathway rights-of-way shall be lined with shade trees. Pathway trees shall follow the same standards as set forth in **Section 8.5.4**. However, County agrees that if the Park District desires to have ownership, operation, or maintenance responsibility for a pathway right-of-way in or adjacent to the Project, Master Developer’s responsibility for tree health ends after County has been notified, in writing, by the Park District that the Park District will assume said ownership, operation, or maintenance responsibility.
 - 8.9.3.3. Non-Street Adjacent Pathway Landscaping.** For a pathway that is not adjacent to a street, Master Developer shall place three-inch plus rock, six-inches deep, on the shoulders of each pathway, with a permeable weed barrier beneath. Alternatively, County agrees that Master Developer may install alternative planting and landscaping as long as it is operated and maintained by a homeowner’s association. Refer to

- 8.9.3.4. Exhibit F – Non-Street-Adjacent Pathway Cross Section** for a depiction of these pathways.
- 8.9.3.5. Construction Drawings to Include Landscaping.** Each subdivision's improvement plans shall provide a detailed Public Landscape plan that, at a minimum, shows landscaping materials proposed to be used, the proposed location, species, including the measurements of each tree's mature crown, and the method of vegetation irrigation.
- 8.9.3.6. Pathway Crossing of Residential Street.** Wherever a pathway intersects with a residential street, Master Developer agrees to install or cause to be installed the following in accordance with NACTO and other applicable best practice standards:
- 8.9.3.6.1. Raised Crosswalk.** A raised crossing with a zebra-style crosswalk. The raised crossing shall be constructed of concrete and be designed as a six-inch high ramped speed table with six-foot ramps or greater if required by the County Engineer. The top (horizontal) of the speed table shall be at least ten-feet wide. Notification signage shall be posted in advance of the speed table.
 - 8.9.3.6.2. Curb Extensions.** Curb extensions (bulb-outs) shall be installed for pathway street crossings on both sides of the applicable street. A curb extension (bulb-out) shall be constructed to constrict a residential street width to no greater than 24 feet, or 36 feet if the street has or is planned to have an on-street bike lane. The County Engineer has discretion to modify this width if the street's design is different than the County's standard. Each curb extension shall be marked with a traffic delineator as prescribed by the County Engineer or County Roads Supervisor. If Master Developer is not responsible for other street Improvements on the opposite side of a street, the following minimum curb extension requirements shall be installed on that side.
 - 8.9.3.6.2.1.** Each end of the curb extension shall at least provide a temporary means of directing drainage to the intended or expected drainage collection system or swale;
 - 8.9.3.6.2.2.** The curb extension shall provide pedestrians a convenient and safe transition from the crossing to whatever historic pedestrian facility exists there. If no formal NACTO-standard pedestrian facility exists on that side, Master Developer shall post a "Crossing Temporarily Closed" sign at the entrance of the crosswalk, or as otherwise required by the County Engineer or Roads Supervisor.
 - 8.9.3.6.2.3.** The County Engineer or Roads Supervisor may require other Improvements that minimize potential safety risks of the curb-

extension, such as but not limited to, additional curbing, guardrail, signage, drainage and street shoulder improvements. If required, Master Developer hereby agrees to install such improvements.

8.9.3.7. Pathway Crossing of Collector or Arterial Street. On a collector or minor arterial street, the raised crosswalk (speed table) and curb extensions pursuant to **Section 8.9.3.6** shall be installed in a manner as approved by the County or UDOT unless required otherwise by the County Engineer, UDOT, or the local fire authority. Regardless of whether a speed table or curb extension (bulb-out) is required, zebra style crosswalk is required, as is a double-sided battery powered user-activated rapid flashing beacon on both sides of the crossing in accordance with installation best practices, and crosswalk notification signage in advance of the crosswalk on both sides of the street. The rapid flashing beacons shall be hardwired to each other through underground conduit.

8.10. Environmental and Air Quality Standards. The Parties agree to implement the community's overall goal of minimizing development impacts on the environment to a reasonable degree practicable. As such, Master Developer agrees, on behalf of itself and all successive owners of the Project or of lots within the Project, to exceed minimum requirements of applicable building and construction codes and conventions by ensuring each dwelling unit is equipped with the following prior to receiving a final certificate of occupancy.

8.10.1. Energy Efficiency. All buildings will be designed to an energy efficiency rating that is one climate zone colder than the area's designated climate zone. Gas-heated furnaces and water heaters shall have an efficiency rating of 95 percent or greater.

8.10.2. Reserved

8.11. Outdoor Lighting. Master Developer agrees that all outdoor lighting within the Project will be dark-sky friendly and as such will be governed by the County's Outdoor Lighting Ordinance, Chapter 108-16 of the Code.

9. Amendments, Modifications, and Revisions.

This Agreement may be amended by mutual agreement of the Parties only if the amendment is in writing and approved and signed by Master Developer and County (an "Amendment"). The following sections specify what Project changes can be undertaken without the need for amendment of the Development Agreement, and what changes require Amendment to this Agreement.

9.1. Who may Submit Modification Applications. Only the County and Master Developer or an Assignee that succeeds to all of the rights and obligations of Master Developer under this Agreement (and not including a Subdeveloper) may submit a Modification Application.

9.2. Modification Application Contents and Process.

9.2.1. Contents. Modification Applications shall:

9.2.1.1. Identification of Property. Identify the property or properties affected by the Modification Application.

9.2.1.2. Description of Effect. Describe the effect of the Modification Application on the affected portions of the Project.



2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668

11/19/2024

8/20/25 *RR*

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Preliminary approval** has been given and the Taylor West Weber Water District ("the District") has the capacity to provide **only** culinary water for the Bitton/Herrick property. The property is located at 800 S. 4100 W. to 601 S. 3600 W. UT. This is proposed as an **43** lot subdivision. The District has the capacity to serve this for culinary purposes only. This subdivision will need to be connected to Hooper Irrigation for outdoor watering. No outdoor watering with Taylor West Weber Water. Taylor West Weber Water specifications and standards must be followed in all installation procedures.

Requirements before subdivision approval:

- Plan review fee \$200 per lot
- Plan approval
- Water rights impact fee= \$7,842 per lot

Requirements after subdivision approval:

- Secondary Water= Connect to Hooper Irrigation Water
- Impact/Connection fee=\$6,756 this is paid when building permits are requested.
- Taylor West Weber Water District reserves the right to make or revise changes as needed or as advised by the district engineer or the district attorney.

FINAL APPROVAL AND SUBDIVISION APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER. THIS LETTER EXPIRES SIX MONTHS FROM THE DATE IT IS ISSUED IMPACT FEES ARE SUBJECT TO CHANGE BASED ON THE IMPACT STUDY. Water right and plan review fees must be paid before approval for construction of the water infrastructure is given.

Expires 5/19/2025

2/20/2025
RR

Sincerely,

Ryan Rogers – Manager

Taylor West Weber Water District



August 26, 2025

Weber County Planning Commission
2380 Washington Blvd #240
Ogden, Utah 84401

RE: PRELIMINARY WILL SERVE LETTER – West Weber Unnamed Subdivision

There is a proposed subdivision located in West Weber relating to two separate but adjacent parcels: located at approximately 800 S 4100 W and 601 S 3600 W and consists of 93 building lots. The subdivision is in the boundaries of the Hooper Irrigation Company service area and Hooper Irrigation is willing and able to provide secondary pressurized water for the subdivision.

The subdivision plat plan has been reviewed by Hooper Irrigation. The preliminary plans have been conditionally approved for the above subdivision. There are sufficient shares affiliated with the property to connect to the secondary pressurized system for the proposed building lots, and the shares are in good standing.

Any private ditches, drains, or tailwater ditches, within the boundaries of the subdivision will need to be piped with a minimum of 18-inch RCP, according to Hooper Irrigation standards and specs, to ensure a continuation of water flow for irrigation users. Ditches should not be planned to be located underneath building structures. This project only is in consideration and guaranteed service, and the plan review is good only for a period of one year from the date of this letter, if not constructed. A final will serve letter will follow this letter after all plans have received final approval, fees have been paid, and water shares have been turned into Hooper Irrigation.

Hooper Irrigation's specifications are available at the Company office. If you have questions, please call 801-985-8429.

Sincerely,

Michelle Pinkston
Office Manager
Board Secretary



Central Weber Sewer Improvement District

November 25, 2024

Felix Lleverino
Weber County Planning Commission
2380 Washington Blvd #240, Ogden, UT 84401

SUBJECT: Bitton
Sanitary Sewer Service
Will Serve Letter

Felix:

We have reviewed the request of Pat Burns to provide sanitary sewer treatment services to the subdivision called Bitton located at approximate address 800 S. 4100 W. proposed 93 residential lots. We offer the following comments regarding Central Weber Sewer Improvement District ('the District') providing sanitary sewer service.

1. At this time, the District has the capacity to treat the sanitary sewer flow from this subdivision. Inasmuch as the system demand continuously changes with growth, this assessment is valid for three (3) years from the date issued on this letter.
2. If any connection is made directly into the District's facilities the connection must be constructed in accordance with District standards and must be inspected by the District while the work is being done. A minimum of 48-hour notice for inspection shall be given to the District prior to any work associated with the connection.
3. Central Weber Sewer Improvement District is a wholesale wastewater treatment provider to Weber County. Connection to the sewer system must be through a retail provider, which we understand to be Weber County. The District will not take responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that will be installed to serve this subdivision.
4. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. The District's Wastewater Control Rules and Regulations state:



Central Weber Sewer Improvement District

Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.

5. The entire parcel of property to be served must be annexed into the Central Weber Sewer Improvement District prior to any sewer service connection or connection to the District's facilities. This annexation must be complete before the sale of any lots in the subdivision. Annexation into the District is permitted by the District's Board of Trustees. This will serve letter is a statement of available capacity and does not guarantee board approval of annexation.
6. Impact fees must be paid no later than the issuance of any building permits.

If you have any further questions or need additional information, please let us know.

Sincerely,

Clay Marriott

Project Manager

CC: Chad Meyerhoffer, Weber County
Kevin Hall, Central Weber Sewer
Paige Spencer
Pat Burns



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: Consideration and action on a request for preliminary approval of the Taylor Landing Subdivision Phase 1B, consisting of 14 lots, public roadways, and the dedication of a 15' wide public pathway easement.

Agenda Date: Tuesday, November 18, 2025

Applicant: Heritage Land Development, LLC.
Selvoy Fillerup (Representative)

File Number: LVT040325

Property Information

Approximate Address: 3900 W 2200 S

Project Area: 4.227 Acres

Zoning: Residential (R1-15)

Existing Land Use: Agricultural

Proposed Land Use: Residential

Parcel ID: 15-078-0188

Township, Range, Section: T6N, R2W, Section 28 NW

Adjacent Land Use

North: Residential	South: 2200 South St
East: Agricultural	West: Residential

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@webercountyutah.gov
801-399-8794

Applicable Ordinances

- Title 101 (General Provisions) Section 7 (Definitions)
- Title 104 (Zones) Chapter 5 (Agricultural (A-1) Zone)
- Title 106 (Subdivisions)
- Title 108 (Standards) Chapter 3 (Cluster Subdivision)

Background and Summary

2/11/2020 – Sketch plan endorsement by the Western Weber Planning Commission.

6/23/2020 – Preliminary approval granted by the County Commission.

5/18/2021 – Phase 1A recorded.

6/28/2022 – Phase 2 recorded.

8/3/2022 – Phase 1A Amendment recorded.

8/11/2023 – Phase 3 recorded.

04/03/2025 – Phase 1B application submitted.

06/23/2025 – Zoning Development Agreement (Rezone request) and associated ordinance recorded.

The proposed subdivision is located in the R1-15 Zone.

The applicant is now requesting preliminary approval of Phase 1B (see **Exhibit A**).

The proposed Phase 1B consists of 4.277 acres, and complies with the recorded development agreement, with lot sizes ranging from 8,749-11,674 square feet and lot widths that vary from 78.94'-114'. The applicant is dedicating 3900 West Street along the eastern boundary of this proposed subdivision, as well as a 15' pathway easement between lots 148 and 149. Specific language to this effect shall be adjusted on the final plat prior to final approval.

Per the recorded ZDA, 8.5.2 *"Developer agrees to provide at least a 66-foot wide public street right-of-way for the 3900 West Street through Phase 6. Developer shall construct this segment of 3900 West Street to the 66-foot wide cross section provided in the recorded development agreement. Developer also agrees to extend 3900 West Street from Phase 6 southward to intersect with 2200 South Street. Developer shall construct this segment of 3900 West Street to the same cross section, but is not required to dedicate or install improvements behind the curb on the eastern edge of the street, provided however, that its construction shall be in a manner that creates no unreasonable hardship for completion of the remaining 66-foot wide cross section at some future time."*

Street trees, and park strip landscaping requirements in the development agreement shall be shown in the final engineered plans and bonded for prior to recording of the final plat.

A dedicated park area of no less than 21 acres has been offered by the developer to the Taylor West Weber Parks District. Proof of this donation all be submitted prior to recording the final plat for the first phase under the recorded development agreement.

Analysis

General Plan: The Western Weber General Plan supports various housing types as a means to meet the various housing needs of a growing population (see page 36 of the Western Weber General Plan).

Zoning: The subject property is located in the Residential Zone (R1-15), the purpose of this zone is stated in the LUC §104-12-1.

"The purpose of the R1 zone is to provide regulated areas for Single-Family Dwelling uses at four different low-to-medium density levels. The R1 zone includes the R1-15, R1-12, R1-10, and R1-5 zones."

The proposal has been reviewed against the adopted zoning, recorded development agreement, and subdivision ordinances to ensure that the regulations and standards have been adhered to. The proposed subdivision, based on the recommended conditions, is in conformance with the above regulations and requirements. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations: The R1-15 Zone requires a minimum lot area of 6,000 sq. ft. for a single family dwelling and a minimum lot width of 60 feet in the R1-15 zone. The minimum yard set-backs for a single family dwelling are 15 feet on the front (20-30 feet if the garage door is located on the front and depending on the percentage of lot width the garage door occupies) and a 20' rear setback, and a side yard of 5-7 feet depending on the number of stories of the proposed dwelling.

Common and Open Space: The proposal includes 1,655 square feet of area to be dedicated as a public pathway.

Culinary water and sanitary sewage disposal: Taylor West Weber has issued a will-serve letter, with final letters of approval for culinary and secondary water to be submitted with the final plat. Central Weber Sewer will provide wastewater services for this project.

Review Agencies: This proposal will be reviewed by all County reviewing agencies. Any comments and conditions for preliminary approval will need to be addressed prior to submitting for final approval.

Tax clearance: Current property taxes have been paid in full.

Planning Division Recommendation

The Planning Division recommends final approval of the Taylor Landing Subdivision Phase 1B, consisting of 14 lots in the R1-15 Zone and based on the proposed plan adhering to the requirements of the Weber County Land Use Code and the recorded development agreement (entry# 3374134) This recommendation for approval is subject to all review agency requirements and based on the following conditions:

1. All Engineering comments shall be addressed prior to submitting for final approval.
2. Engineered plans shall show compliance with street cross-sections, including pathway and sidewalk width requirements, prior to acceptance of an application for final approval.
3. Final letters of approval shall be submitted from Taylor West Weber Water, Hooper Irrigation Company, prior to submitting for approval of the final plat.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Western Weber General Plan.
2. The proposed subdivision complies with applicable County ordinances.

Exhibits

- A. Phase 1B Preliminary Plat
- B. Will-Serve Letters

Location map



[illegible]

Exhibit B – Will Serve Letters



2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668
3/10/2025

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Preliminary Will Serve** approval has been given and Taylor West Weber Water District ("the District") has the capacity to provide **only** culinary water for **Taylor Landing 1B Subdivision**, a **14 lot** subdivision. The address is approx. 2275 W 2200 S, Taylor UT. This subdivision must have a pressurized secondary water system for outdoor use. Plan review fees and water right impact fees must be paid to the District clerk before subdivision approval is granted. A pressurized secondary water system must be functional before final approval to build will be granted.

Requirements:

- Plan review fee=\$200 per lot total= **\$2,800.00**
- Water Right Impact fee= **\$7,842 x 14 ERU's total = \$109,788.00**
- Complete plan reviews.
- Will serve letter from Hooper Irrigation.
- Impact fees=\$6,856.00 per lot. This fee includes the cost of the meter. This fee will be collected at the time building permits are requested. Fees are subject to change.
- Installation of the water line and services. The District will need to be notified prior to working on the water lines. Taylor West Weber standards must be followed in all installation procedures.
- The construction of the pipelines must pass all inspections.
- Taylor West Weber Water reserves the right to make or revise changes as needed or as advised by the district engineer or the district attorney.

FINAL SUBDIVISION APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER. A SIGNATURE BLOCK FOR TAYLOR WEST WEBER WATER MUST BE ON THE FINAL RECORDED MYLAR AND SIGNED BY A REPRESENTATIVE OF THE DISTRICT.

Sincerely,



Ryan Rogers-Manager

Taylor West Weber Water District

Expires 9/10/2025



PO Box 184 5375 S 5500 W Hooper, Utah 84315	Phone: (801)985-8429 Fax: (801)985-3556 hooperirrigationco@msn.com
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April 10, 2020

Weber County Planning Commission
2380 Washington Blvd, #240
Ogden, Utah 84401

RE: PRELIMINARY WILL SERVE LETTER – Sunset Meadows Subdivision

The development is located at 4000 West and 1800 South approximately and consists of 156 lots. Hooper Irrigation Company has pressure irrigation water available for the afore mentioned project located at the above address.

This letter states that the afore named project is in the boundaries of Hooper Irrigation Company. A formal application has been made to our office. The application fee has not yet been paid due to the office restrictions in response to the public health order related to the COVID-19 pandemic.

The subdivision plat plan has been reviewed by Hooper Irrigation. The preliminary plans have been conditionally approved for the above subdivision with some changes possibly needed. Due to the circumstances surrounding the COVID-19 pandemic, the developer was not able to attend a Hooper Irrigation Board Meeting to discuss private ditches, tailwater ditches, etc. The preliminary approval is therefore conditional to a future discussion regarding the ditches and how best to maintain the current integrity of those ditches as the property develops. Only this project is in consideration and guaranteed service and the plan review is good only for a period of one year from the date of this letter, if not constructed.

Hooper Irrigation's specifications are available at the Company office.

If you have questions, please call 801-985-8429.

Sincerely,

Michelle Pinkston
Office Manager
Board Secretary



JUB COMPANIES



THE LARSON GROUP



CAPTAIN HARRISON INC.

MEMORANDUM

DATE: May 5, 2025 (Revised from 6/10/2024 and 03/11/2025)
TO: Hooper Irrigation Company;
CC: Rex Hancock, President;
FROM: Chris Thomsen, P.E., J-U-B Engineers; Sam Wakeham, J-U-B Engineers
SUBJECT: Taylor Landing Phase 1B, JUB #55-24-009-002

This memo is revised from a previous memo, additional comments are given in italics. We recently received information about a development proposed in Weber County. The development is located just east of at 2200 South and 3900 West. The project entails the development of 14 residential lots.

The following items are required for Development:

1. Hooper Irrigation water shares will need to be deeded to Hooper Irrigation for your lots by the developer. Based upon lot sizes and the number of lots the development will require 2 shares.
2. *Done.* On Sheet 2, add a callout a hot tap to existing 12" line on the plan view.
3. *Done.* On Sheet 2, at the low point on 2025 South at STA. 14+85, show a drain connecting to the closest catch basin on the north side of 2025 South.
4. *Done.* In the case of future development on the east side of 3900 West and there road becoming a full road, it is required that the 4" RCP canal piping to be extended an additional 40 feet to extend past the right of way a full road. Additionally, the proposed relocation of the headgate structure would have to be extended approximately 20 feet further upstream of the current proposed relocation.
5. Connection fees (currently \$6,500 per connection) will be required of the developer.
6. Meter fees (currently \$550 per connection) will be required of the developer.
7. Any existing ditches on the property will need to be piped with a minimum of 18" RCP pipe.
8. An assigned board member must visit the site to confirm service, tail water, and drainage ditches. Once plans are generated, final recommendations on ditch piping can be made.
9. The developer must meet with the Hooper Irrigation Board (2nd Monday each month).
10. *Done.* The new diversion structure needs an additional headgate for the 15" RCP outlet. Additionally, it will need an overflow line that will connect to the existing 15" ADS pipe. A 4' concrete manhole is to be used to make the connection to the existing ADS pipe.
11. *Done.* Hooper Irrigation is to approve the connection to the existing 4" RCP canal piping in field. A concrete collar with rebar may be needed.
12. *Done.* A footing for the new head wall will need to be shown. Rebar is to be determined by Hooper Irrigation in field.
13. *Done.* An access road to the existing road on the north side of the canal needs to be added. The access road is to have a maximum of 10% slope.
14. *Done.* The bars for the metal grate are to have 6 inch spacing with no crossbars.

466 North 900 West Kayville, Utah 84037 P 801.547.0393 / 801.547.0397 www.jub.com

15. *Hooper Irrigation will allow the line to dead end without a loop under the canal. A air-vac and blow-off valve will need to be installed at the dead end.*

The Improvement plans for this development have been reviewed by Hooper's Engineer for general conformance with the Hooper policies and standard drawings. This set of drawings shall be used for construction of the required improvements. The developer's engineer, whose stamp is on these drawings is responsible for the accuracy of the design and related field information. This Plan approval shall in no means be construed to indicate Hooper's responsibility for design. The construction contractor is responsible for dimensions, fabrication process, techniques, coordination with other trades and utilities, and the satisfactory performances of the work.

All these items will need to be addressed prior to a final will serve letter for the development. Any review and recommendations are given for one year from the time of application and are subject to modification from the Board. Plans must be completed and approved prior to construction. We request that Hooper Irrigation Company staff be invited to the preconstruction meeting. Any fees must be paid prior to authorization. Please let us know if you have any questions.



Central Weber Sewer Improvement District

February 24, 2020

Weber County Planning Commission
2380 Washington Blvd
Ogden, Utah 84401-1473

SUBJECT: The Residences at Sunset Meadows
Sanitary Sewer Will Serve Letter

We have reviewed the preliminary subdivision plans for the Sunset Meadows development that consists of 156 residential units on 109.62 acres located near 4300 West 2200 South in the Taylor area of Weber County. This project is being developed by Jessica Prestwich and Sierra Homes will be the owner. We can treat the sanitary sewer from this proposed development and offer the following comments.

1. Central Weber does have the capacity to treat the sanitary sewer flow from this proposed development.
2. This property will need to be annexed into the Central Weber Sewer Improvement District prior to any connections being made to the District's sanitary sewer lines on 2200 South or 4100 West.
3. Details of any connection and/or manhole construction being made directly to Central Weber's main line will need to be submitted to Central Weber and approved prior to construction and the connection being made.
4. Any connection to Central Weber's line must be inspected by Central Weber while the work is being done. A minimum of 48-hour notice for inspection shall be given to Central Weber prior to any work associated with the connection.
5. Central Weber will not take ownership or responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that are proposed as a part of this development.

6. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. Central Weber's Wastewater Control Rules and Regulations state:

Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer

7. The Central Weber Sanitary Sewer Impact Fee for each lot will need to be paid to Weber County at the time of issuance of a Building Permit. The current Residential Impact fee is \$2,395.

If you have any further questions or need additional information please let us know.

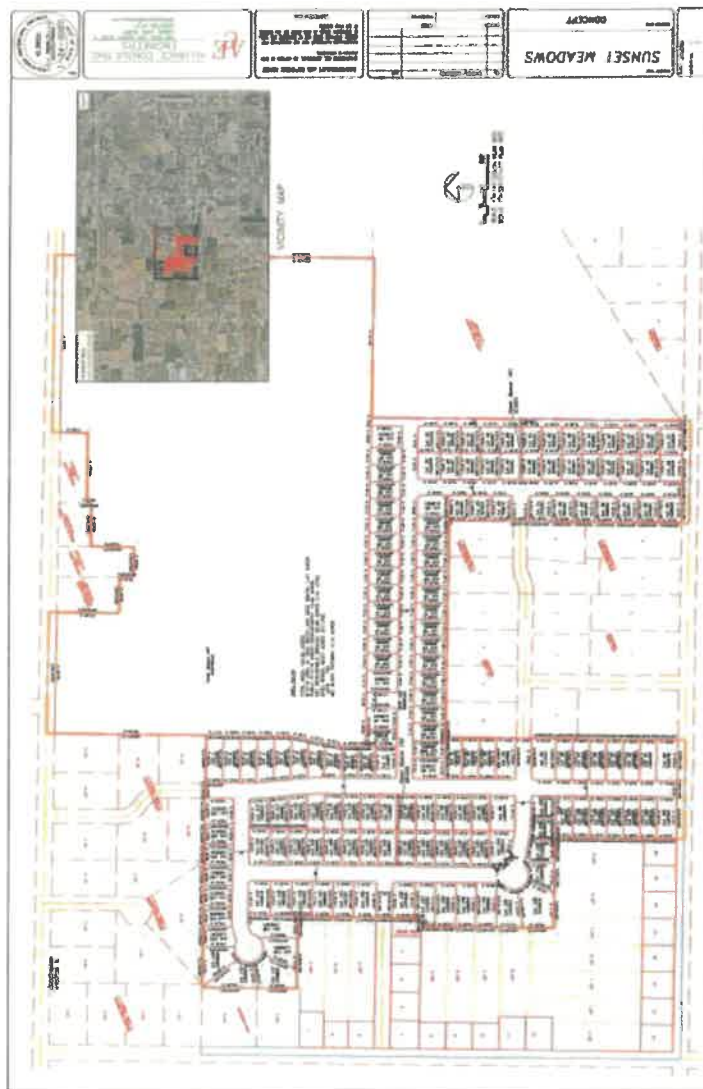
Sincerely,



Lance L. Wood, P. E.
General Manager

Attachments: Preliminary Development Plans

cc Jessica Prestwich, jessicap@sierrahomes.com





Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: LVT060523 - Consideration and action on a request for preliminary approval of the Taylor Landing Subdivision Phase 5, consisting of 31 lots, public roadways, and the dedication of two 15' wide public pathway easements.

Agenda Date: Tuesday, November 18, 2025

Applicant: Heritage Land Development, LLC.
Selvoy Fillerup (Representative)

File Number: LVT060523

Property Information

Approximate Address: 4160 W 2200 S

Project Area: 11.038 Acres

Zoning: Residential (R1-15)

Existing Land Use: Agricultural

Proposed Land Use: Residential

Parcel ID: 15-078-0187

Township, Range, Section: T6N, R2W, Section 28 NW

Adjacent Land Use

North: Residential	South: Residential/2025 South St
East: West Weber Park District	West: Residential

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@webercountyutah.gov
801-399-8794

Applicable Ordinances

- Title 101 (General Provisions) Section 7 (Definitions)
- Title 104 (Zones) Chapter 5 (Agricultural (A-1) Zone)
- Title 106 (Subdivisions)
- Title 108 (Standards) Chapter 3 (Cluster Subdivision)

Background and Summary

2/11/2020 – Sketch plan endorsement by the Western Weber Planning Commission.

6/23/2020 – Preliminary approval granted by the County Commission.

5/18/2021 – Phase 1A recorded.

6/28/2022 – Phase 2 recorded.

8/3/2022 – Phase 1A Amendment recorded.

8/11/2023 – Phase 3 recorded.

06/05/2023 – Phase 5 application submitted.

06/23/2025 – Zoning Development Agreement (Rezone request) and associated ordinance recorded.

The proposed subdivision is located in the R1-15 Zone.

The applicant is now requesting preliminary approval of Phase 5 (see **Exhibit A**).

The proposed Phase 5 consists of 11.038 acres, and complies with the recorded development agreement, with lot sizes ranging from 9.234-16.226 square feet and lot widths that vary from 69-134'. The applicant is dedicating several public streets in this subdivision; 4140 West Street in the eastern area of the subdivision, 4190 West Street, in the middle of the subdivision, 4235 West Street in the western are of the subdivision, and 1920 South Street, all of which are proposed to be 66' wide.

Street trees, and park strip landscaping requirements in the development agreement shall be shown in the final engineered plans and bonded for prior to recording of the final plat.

A dedicated park area of no less than 21 acres has been offered by the developer to the Taylor West Weber Parks District. Proof of this donation all be submitted prior to recording the final plat for the first phase under the recorded development agreement.

Analysis

General Plan: The Western Weber General Plan supports various housing types as a means to meet the various housing needs of a growing population (see page 36 of the Western Weber General Plan).

Zoning: The subject property is located in the Residential Zone (R1-15), the purpose of this zone is stated in the LUC §104-12-1.

"The purpose of the R1 zone is to provide regulated areas for Single-Family Dwelling uses at four different low-to-medium density levels. The R1 zone includes the R1-15, R1-12, R1-10, and R1-5 zones."

The proposal has been reviewed against the adopted zoning, recorded development agreement, and subdivision ordinances to ensure that the regulations and standards have been adhered to. The proposed subdivision, based on the recommended conditions, is in conformance with the above regulations and requirements. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations: The R1-15 Zone requires a minimum lot area of 6,000 sq. ft. for a single family dwelling and a minimum lot width of 50 feet in the R1-15 zone. The minimum yard set-backs for a single family dwelling are 20 feet on the front and a 30' rear setback, and a minimum side yard setback of 5 feet on one side and 10 feet on the other.

Common and Open Space: The proposal includes 15' public trail easement along the northern boundary of lot 140. Pathways to be installed shall adhere to the recorded development agreement. All sidewalks shall be a minimum of 5' wide. The submitted street cross-sections for 66' wide streets show 4' sidewalks. This will need to be corrected prior to submitting for final approval.

Culinary water and sanitary sewage disposal: Taylor West Weber has issued a will-serve letter, with final letters of approval for culinary and secondary water to be submitted with the final plat. Central Weber Sewer will provide wastewater services for this project.

Review Agencies: This proposal will be reviewed by all County reviewing agencies. Any comments and conditions for preliminary approval will need to be addressed prior to submitting for final approval.

Tax clearance: Current property taxes have been paid in full.

Planning Division Recommendation

The Planning Division recommends final approval of the Taylor Landing Subdivision Phase 5, consisting of 31 lots in the R1-15 Zone, and based on the proposed plan adhering to the requirements of the Weber County Land Use Code and the recorded development agreement (entry# 3374134) This recommendation for approval is subject to all review agency requirements and based on the following conditions:

1. All Engineering comments shall be addressed prior to submitting for final approval.
2. The final plat shall show 31 lots, not 32, unless an updated culinary will-serve letter is provided.
3. Engineered plans shall show compliance with street cross-sections, including pathway and sidewalk width requirements, prior to acceptance of an application for final approval.
4. Final letters of approval shall be submitted from Taylor West Weber Water, Hooper Irrigation Company, prior to submitting for approval of the final plat.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Western Weber General Plan.
2. The proposed subdivision complies with applicable County ordinances.

Exhibits

- A. Phase 5 Preliminary Plat
- B. Will-Serve Letters

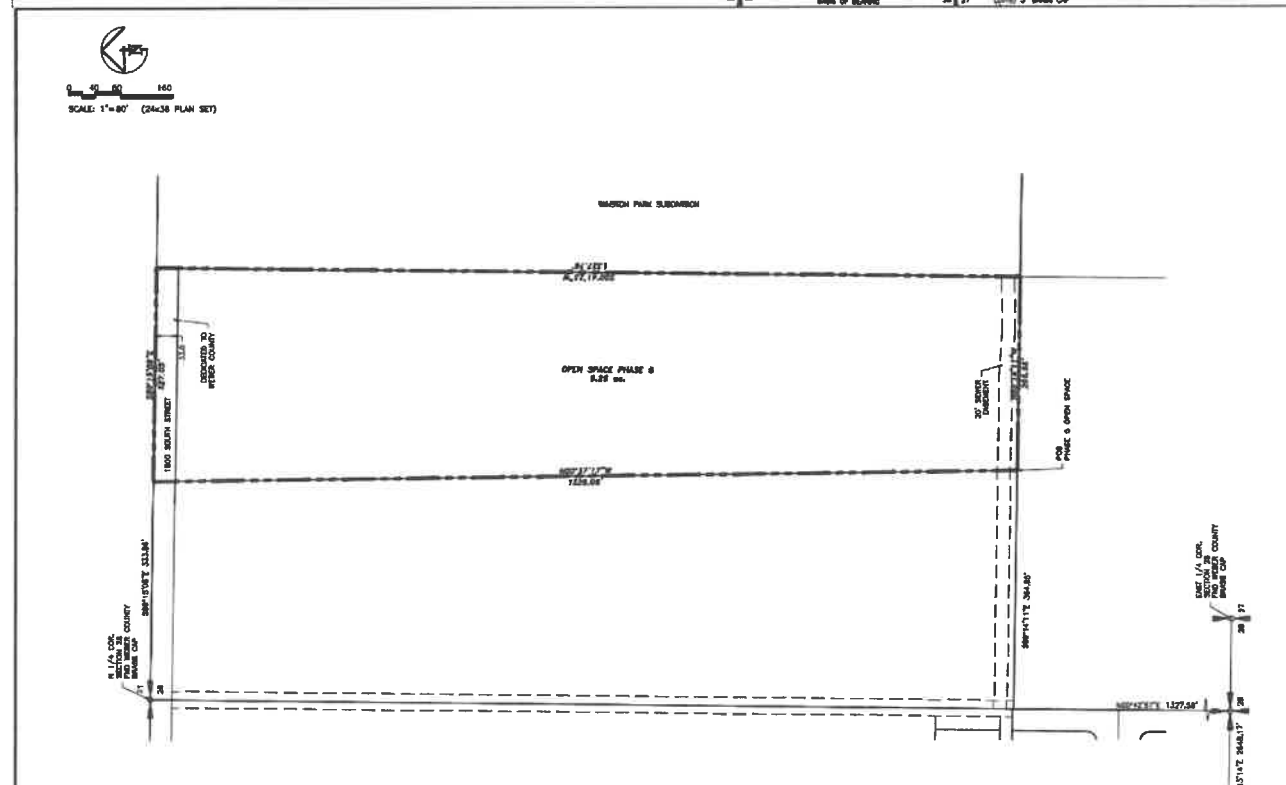
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Exhibit B – Will Serve Letters



2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668
11/14/2023

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that **Final Subdivision Will Serve Approval** has been given and Taylor West Weber Water District ("the District") has the capacity to provide only culinary water for the **Taylor Landing Subdivision Phase 4&5**. The address is approx. 1920 S 4140 W. Taylor UT. Plan review fees have been paid for 59 lots and the water right fees have been paid for phase 4&5 consisting of 59 lots. Culinary water lines must be installed and tested to District standards. Pressurized secondary water lines must be installed to Hooper Irrigation standards.

Requirements met:

- Plan review fee= **Paid 59 Lots (Total \$5,900.00)**
- Water rights impact fees=\$1,078.00 **Paid. 59 Lots (Total \$63,602.00)**

Impact fee requirement for building

- Impact fee \$6,375.00 This includes the cost of the meter. An impact study was recently conducted and the new fee beginning January 14, 2023, will be \$6,856.00.
- Taylor West Weber Water reserves the right to make or revise changes as needed or as advised by the district engineer or the district attorney.

FINAL SUBDIVISION APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan Rogers".

Ryan Rogers-Manager
Taylor West Weber Water District



Central Weber Sewer Improvement District

February 24, 2020

Weber County Planning Commission
2380 Washington Blvd.
Ogden, Utah 84401-1473

SUBJECT: The Residences at Sunset Meadows
Sanitary Sewer Will Serve Letter

We have reviewed the preliminary subdivision plans for the Sunset Meadows development that consists of 156 residential units on 109.62 acres located near 4300 West 2200 South in the Taylor area of Weber County. This project is being developed by Jessica Prestwich and Sierra Homes will be the owner. We can treat the sanitary sewer from this proposed development and offer the following comments.

1. Central Weber does have the capacity to treat the sanitary sewer flow from this proposed development.
2. This property will need to be annexed into the Central Weber Sewer Improvement District prior to any connections being made to the District's sanitary sewer lines on 2200 South or 4100 West.
3. Details of any connection and/or manhole construction being made directly to Central Weber's main line will need to be submitted to Central Weber and approved prior to construction and the connection being made.
4. Any connection to Central Weber's line must be inspected by Central Weber while the work is being done. A minimum of 48-hour notice for inspection shall be given to Central Weber prior to any work associated with the connection.
5. Central Weber will not take ownership or responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that are proposed as a part of this development.

2020 Weber Sewer Improvement District - Central Weber Sewer Improvement District (CWSID) - 2020 Weber Sewer Improvement District (CWSID) - 2020 Weber Sewer Improvement District (CWSID)

6. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. Central Weber's Wastewater Control Rules and Regulations state:

Prohibited Discharge into Sanitary Sewer: No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.

7. The Central Weber Sanitary Sewer Impact Fee for each lot will need to be paid to Weber County at the time of issuance of a Building Permit. The current Residential Impact fee is \$2,395.

If you have any further questions or need additional information please let us know.

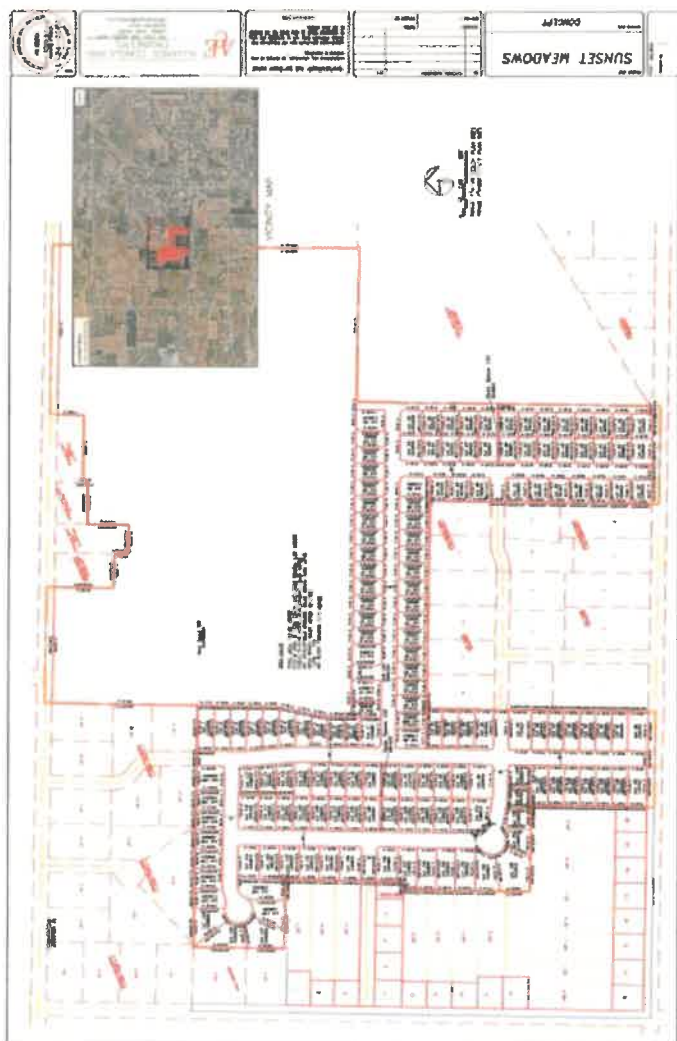
Sincerely,



Lance I. Wood, P. E.
General Manager

Attachments: Preliminary Development Plans

cc: Jessica Prestwich, jessicap@sierrahomes.com





PO Box 184 5375 S 5500 W Hooper, Utah 84315	Phone: (801)985-8429 Fax: (801)985-3556 hooperirrigationco@msn.com
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May 12, 2023

Weber County Planning Commission
2380 Washington Blvd, #240
Ogden, Utah 84401

RE: PRELIMINARY WILL SERVE LETTER – Taylor Landings Subdivision, PH 5

The phase 5 portion of the Taylor Landings subdivision is located at approximately 1920 South and 4140 West and consists of 31 building lots. The subdivision is in the boundaries of the Hooper Irrigation Company service area. A formal application has been made to our office and an escrow for application has been paid.

The subdivision plat plan has been reviewed by Hooper Irrigation. The preliminary plans have been conditionally approved for the above subdivision phase. There are sufficient shares affiliated with the property to connect to the secondary pressurized system for the building lots and the shares are in good standing.

This phase only is in consideration and guaranteed service and the plan review are good only for a period of one year from the date of this letter, if not constructed. A final will serve letter will follow this letter after all plans have received final approval, fees have been paid, and water shares have been turned in to Hooper Irrigation.

Hooper Irrigation's specifications are available at the Company office.

If you have questions, please call 801-985-8429.

Sincerely,


Michelle Pinkston
Office Manager
Board Secretary



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: LVT060523 - Consideration and action on a request for preliminary approval of the Taylor Landing Subdivision Phase 6, consisting of 25 lots, public roadways, and the dedication of two 15' wide public pathway easements.

Agenda Date: Tuesday, November 18, 2025

Applicant: Heritage Land Development, LLC.
Selvoy Fillerup (Representative)

File Number: LVT060523

Property Information

Approximate Address: 3900 W 1800 S

Project Area: 14.81 Acres

Zoning: Residential (R1-15)

Existing Land Use: Agricultural

Proposed Land Use: Residential

Parcel ID: 15-078-0187

Township, Range, Section: T6N, R2W, Section 28 NW

Adjacent Land Use

North: 1800 South Street	South: Taylor Landing Phase 1A/Agricultural
East: Vacant	West: Vacant

Staff Information

Report Presenter: Tammy Aydelotte
taydelotte@webercountyutah.gov
801-399-8794

Applicable Ordinances

- Title 101 (General Provisions) Section 7 (Definitions)
- Title 104 (Zones) Chapter 5 (Agricultural (A-1) Zone)
- Title 106 (Subdivisions)

Background and Summary

2/11/2020 – Sketch plan endorsement by the Western Weber Planning Commission.

6/23/2020 – Preliminary approval granted by the County Commission.

5/18/2021 – Phase 1A recorded.

6/28/2022 – Phase 2 recorded.

8/3/2022 – Phase 1A Amendment recorded.

8/11/2023 – Phase 3 recorded.

05/05/2025 – Phase 6 application submitted.

06/23/2025 – Zoning Development Agreement (Rezone request) and associated ordinance recorded.

The proposed subdivision is located in the R1-15 Zone.

The applicant is now requesting preliminary approval of Phase 6 (see **Exhibit A**).

The proposed Phase 6 consists of 14.81 acres, and complies with the recorded development agreement, with lot sizes ranging from 8,129-13,412 square feet and lot widths that vary from 60-152'. The applicant is dedicating several public streets in this subdivision; 1825 South Street, 1875 South Street, 1975 South Street, an un-named road stub to the western boundary, the improvement of 3900 West Street, 2 25-foot wide open space parcels for the purposes of a public pathway, and two open space parcels for the purposes of onsite stormwater retention. All roadways are proposed to be 66' wide and will be dedicated to the county as public streets. Street cross-sections shall conform to those in the recorded development agreement. These profiles show 5' sidewalks, and 10' pathways in some sections.

Street trees, and park strip landscaping requirements in the development agreement shall be shown in the final engineered plans and bonded for prior to recording of the final plat.

A dedicated park area of no less than 21 acres has been offered by the developer to the Taylor West Weber Parks District. Proof of this donation all be submitted prior to recording the final plat for the first phase under the recorded development agreement.

Analysis

General Plan: The Western Weber General Plan supports various housing types as a means to meet the various housing needs of a growing population (see page 36 of the Western Weber General Plan).

Zoning: The subject property is located in the Residential Zone (R1-15), the purpose of this zone is stated in the LUC §104-12-1.

"The purpose of the R1 zone is to provide regulated areas for Single-Family Dwelling uses at four different low-to-medium density levels. The R1 zone includes the R1-15, R1-12, R1-10, and R1-5 zones."

The proposal has been reviewed against the adopted zoning, recorded development agreement, and subdivision ordinances to ensure that the regulations and standards have been adhered to. The proposed subdivision, based on the recommended conditions, is in conformance with the above regulations and requirements. The following is a brief synopsis of the review criteria and conformance with the LUC.

Lot area, frontage/width and yard regulations: The R1-15 Zone requires a minimum lot area of 6,000 sq. ft. for a single family dwelling and a minimum lot width of 50 feet in the R1-15 zone. The minimum yard set-backs for a single family dwelling are 20 feet on the front and a 30' rear setback, and a minimum side yard setback of 5 feet on one side and 10 feet on the other.

Common and Open Space: The proposal includes 15' public trail easement along the northern boundary of lot 140. Pathways to be installed shall adhere to the recorded development agreement. All sidewalks shall be a minimum of 5' wide. The submitted street cross-sections for 66' wide streets show 4' sidewalks. This will need to be corrected prior to submitting for final approval.

Culinary water and sanitary sewage disposal: Taylor West Weber has issued a will-serve letter, with final letters of approval for culinary and secondary water to be submitted with the final plat. Central Weber Sewer will provide wastewater services for this project.

Review Agencies: This proposal will be reviewed by all County reviewing agencies. Any comments and conditions for preliminary approval will need to be addressed prior to submitting for final approval.

Tax clearance: Current property taxes have been paid in full.

Planning Division Recommendation

The Planning Division recommends final approval of the Taylor Landing Subdivision Phase 6, consisting of 25 lots in the R1-15 Zone, and based on the proposed plan adhering to the requirements of the Weber County Land Use Code and the recorded development agreement (entry# 3374134) This recommendation for approval is subject to all review agency requirements and based on the following conditions:

1. All Engineering comments shall be addressed prior to submitting for final approval.
2. Engineered plans shall show compliance with street cross-sections, including pathway and sidewalk width requirements, prior to acceptance of an application for final approval.
3. Final letters of approval shall be submitted from Taylor West Weber Water, Hooper Irrigation Company, prior to submitting for approval of the final plat.

This recommendation is based on the following findings:

1. The proposed subdivision conforms to the Western Weber General Plan.
2. The proposed subdivision complies with applicable County ordinances.

Exhibits

- A. Phase 6 Preliminary Plat
- B. Will-Serve Letters

Location map



Exhibit A - Proposed Preliminary Plat

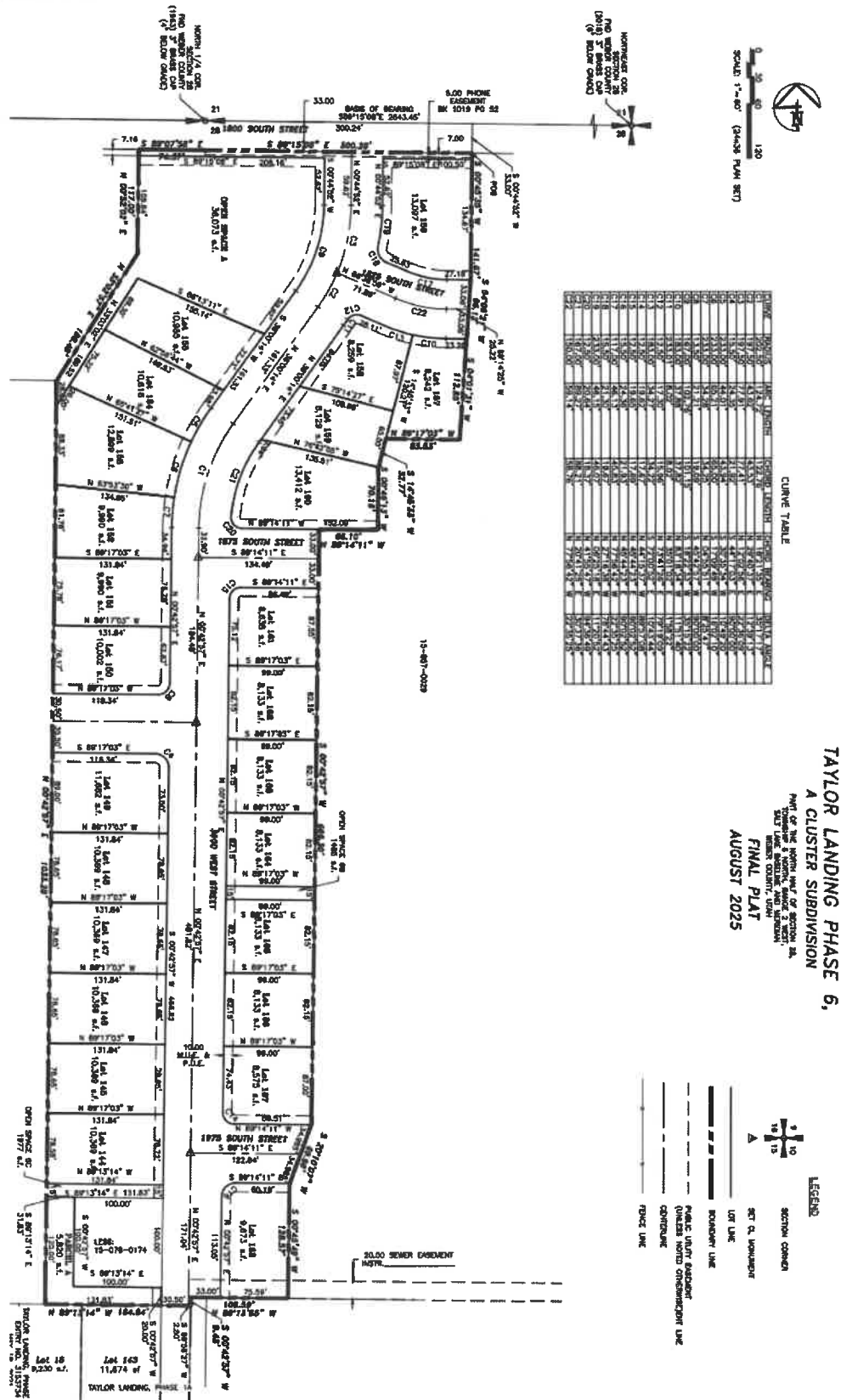


Exhibit B – Will Serve Letters



2815 WEST 3300 SOUTH
WEST HAVEN, UTAH 84401
801-731-1668
4/29/2025

Weber County Planning Commission
2380 Washington Boulevard
Ogden, Utah 84401

To Whom It May Concern:

This is to inform you that Preliminary Will Serve approval has been given and Taylor West Weber Water District ("the District") has the capacity to provide only culinary water for Taylor Landing Subdivision Phase 6, a 26-lot subdivision. The address is approx. 1800 S. 3900 W. Taylor UT. This subdivision must have a pressurized secondary water system for outdoor use. Plan review fees and water right impact fees must be paid to the District clerk before subdivision approval is granted. A pressurized secondary water system must be functional before final approval will be granted.

Requirements:

- Plan review fee=\$200 per lot total= \$5,200.00
- Water Right Impact fee= \$7,842 x 26 ERU's total = \$203,892.00
- Complete plan reviews.
- Will serve letter from Hooper Irrigation.
- Impact fees=\$6,856.00 per lot. This fee includes the cost of the meter. This fee will be collected at the time building permits are requested. Fees are subject to change.
- Installation of the water line and services. The District will need to be notified prior to working on the water lines. Taylor West Weber standards must be followed in all installation procedures.
- The construction of the pipelines must pass all inspections.
- Taylor West Weber Water reserves the right to make or revise changes as needed or as advised by the district engineer or the district attorney.

FINAL SUBDIVISION APPROVAL MUST NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY TAYLOR WEST WEBER WATER. A SIGNATURE BLOCK FOR TAYLOR WEST WEBER WATER MUST BE ON THE FINAL RECORDED MYLAR AND SIGNED BY A REPRESENTATIVE OF THE DISTRICT.

Sincerely,



Ryan Rogers-Manager
Taylor West Weber Water District

Expires 10/29/2025



May 5, 2025

Weber County Planning Commission
2380 Washington Blvd, #240
Ogden, Utah 84401

RE: PRELIMINARY WILL SERVE LETTER – Taylor Landings Subdivision, PH 6, 7, and 8

Phases 6, 7, and 8 portions of the Taylor Landings subdivision are located at approximately 1800 South and 4000 West and a total of 75 lots are proposed. The breakdown is as follows: Phase 6 has 26 lots, Phase 7 has 20 lots, and Phase 8 has 29 lots. The subdivision is in the boundaries of the Hooper Irrigation Company service area. A formal application has been made to our office and an escrow for application has been paid.

The subdivision plat plan has been reviewed by Hooper Irrigation. The preliminary plans have been conditionally approved for the above subdivision phase. There are sufficient shares affiliated with the property to connect to the secondary pressurized system for the building lots and the shares are in good standing.

These three phases only are in consideration and guaranteed service and the plan review are good only for a period of one year from the date of this letter, if not constructed. A final will serve letter will follow this letter after all plans have received final approval, fees have been paid, and water shares have been turned in to Hooper Irrigation.

Hooper Irrigation's specifications are available at the Company office.

If you have questions, please call 801-985-8429.

Sincerely,

Michelle Pinkston
Office Manager
Board Secretary



Central Weber Sewer Improvement District

May 1, 2025

Felix Llevernio
Weber County Planning Commission
2380 Washington Blvd #240, Ogden, UT 84401

SUBJECT: Taylor Landing phases 6-8
Sanitary Sewer Service
Will Serve Letter

Felix:

We have reviewed the request of Heritage land development to provide sanitary sewer treatment services to the subdivision called Taylor Landing phases 6-8. A development of 75 residents located at approximately 3900 W. 2000 S. We offer the following comments regarding Central Weber Sewer Improvement District (the district) providing sanitary sewer service.

1. At this time, the district has the capacity to treat the sanitary sewer flow from this subdivision. Inasmuch as the system demand continuously changes with growth, this assessment is valid for three (3) years from the date issued on this letter.
2. If any connection is made directly into the district's facilities the connection must be constructed in accordance with District standards and must be inspected by the district while the work is being done. A minimum of 48-hour notice for inspection shall be given to the district prior to any work associated with the connection.
3. Central Weber Sewer Improvement District is a wholesale wastewater treatment provider to Weber County. The connection to the sewer system must be through a retail provider, which we understand to be Weber County. The district will not take responsibility for the condition, ownership or maintenance of the proposed sanitary sewer lines (gravity or pressure) or system that will be installed to serve this subdivision.
4. The connection of any sump pumps (or similar type pumps) to the sanitary sewer system is prohibited during or after construction. The District's Wastewater Control Rules and Regulations state:



Central Weber Sewer Improvement District

Prohibited Discharge into Sanitary Sewer. No person shall discharge or cause or make a connection which would allow to be discharged any storm water, surface water, groundwater, roof water runoff or subsurface drainage to any sanitary sewer.

5. The entire parcel of property to be served must be annexed into the Central Weber Sewer Improvement District prior to any sewer service connection or connection to the district's facilities. This annexation must be complete before the sale of any lots in the subdivision. Annexation into the District is permitted by the District's Board of Trustees. This will serve letter is a statement of available capacity and does not guarantee board approval of annexation.
6. Impact fees must be paid no later than the issuance of any building permits.

If you have any further questions or need additional information, please let us know.

Sincerely,


Clayton Marriott
13.01.00000

Clay Marriott
Project Manager

CC: Chad Meyerhoffer, Weber County
Kevin Hall, Central Weber Sewer
Paige Spencer
Heritage Land Development



Staff Report to the Western Weber Planning Commission

Weber County Planning Division

Synopsis

Application Information

Application Request: **GPA2025-01** A public hearing on a request to amend the Western Weber General Plan Culinary Water Use table on page 141, add information regarding the Water Conservation Stakeholder Committee on page 141, and add action items to pages 157-160 that incorporate State requirements for water conservation.

Agenda Date: Tuesday, November 18, 2025

Applicant: Weber County Planning Staff

File Numbers: GPA 2025-01

Report Author: Felix Lleverino
fleverino@webercountyutah.gov
(801) 399-8767

Applicable Ordinances

§ 101-1-8 – Amendments to Code
§ 102-2-4 – Powers and Duties of the Planning Commission

Legislative Decisions

The decision on these items is a legislative action. When the Planning Commission is acting on a legislative item it is acting as a recommending body to the County Commission. Legislative decisions have wide discretion. Examples of legislative actions are general plan, zoning map, and land use code amendments. Typically, the criterion for providing a recommendation on a legislative matter suggests a review for compatibility with the general plan and existing ordinances.

Summary and Background

The Weber County Planning Staff has prepared this report to provide details on the specific action to amend certain pages of the Western Weber General Plan. The staff has prepared an exhibit for this report clarifying exactly what changes will be made to the general plan and which pages of the general plan will be amended. The currently adopted goals and actions of the general plan assist the western Weber County residents in implementing their vision of the western weber area in regard to growth, transportation, conservation, and recreation.

Members of the Water Conservation Stakeholder Committee who include, but were not limited to, two members of the Western Weber Planning Commission, representatives from the Taylor West Weber Water District, Weber Basin Water Conservancy District, Warren-West Warren Water District held a monthly meetings from July of 2025 to September of 2025 to provide the planning staff with information and recommendations regarding water conservation actions that should be included with the general plan. The primary goals of this general plan amendment are to implement actions that will help reach the goals of the water providers, to educate the public on water conservation, to implement recommendations from the State Division of Water Resources, and to satisfy State Code.

The general plan amendments were also presented to the Planning Commission on two separate occasions in work sessions that took place on September 9, 2025, and October 14, 2025, where the staff were able to gather more feedback for the refinement of the amendments.

Staff is recommending approval of the future land use map amendment.

Policy Analysis

An analysis of the water conservation elements of the Western Weber General Plan finds that an update to the water use table and additional action items will provide a broader framework to accomplish the Western Weber County's vision for smart growth and water conservation. Please refer to the information below and review the analysis of the applicable General Plan sections.

Planning Staff Analysis

Page 141 of the Western Weber General Plan includes information about the current demand, such as residential, commercial, and agricultural. With data provided by the Taylor West Weber Water District, the planning staff was able to update this table with the latest water demand data. Other amendments to page 141 would add information about the Water Conservation Stakeholder Committee and its recommendations.

Edits to page 142 would add information regarding the participation from the Utah Division of Water Resources with their recommendation to the general plan amendment.

Additional action items on Pages 157 through 160 of the general plan are included with the amendment to provide specific actions that the planning staff and water service providers will take to accomplish the overarching goal of 200 gallons per capita per day (gpcd) by the year 2030. And looking further into the future, 175 gpcd by the year 2065, which is a 30 percent reduction from the data collected in 2021 by the Weber Basin Water Conservancy District.

Changes to the general plan should not conflict with the primary vision of the plan. That vision is:

*While the pressure to grow and develop will persist, there is a clear desire for growth to be carefully and deliberately designed in a manner that preserves, complements, and honors the agrarian roots of the community. To do this, Weber County will promote and encourage the community's character through public space and street design standards, open space preservation, and diversity of lot sizes and property uses that address the need for places for living, working, and playing in a growing community.*¹

¹ Western Weber General Plan, pg. 21

Staff Recommendation

Staff recommends that the Planning Commission consider the General Plan Amendment request and offer staff feedback for additional consideration, if any. Alternatively, when/if the Planning Commission is comfortable with the proposal, a positive recommendation should be passed to the County Commission.

Planning Commission Model Motion

The model motions herein are only intended to help the planning commissioners provide clear and decisive motions for the record. Any specifics provided here are completely optional and voluntary. Some specifics, the inclusion of which may or may not be desired by the motioner, are listed to help the planning commission recall previous points of discussion that may help formulate a clear motion. Their inclusion here, or any omission of other previous points of discussion, are not intended to be interpreted as steering the final decision.

Motion for positive recommendation **as-is:**

I move we forward a positive recommendation to the County Commission for File # GPA2025-01, a planning staff-driven application to amend the Western Weber General Plan Culinary Water Use table on page 141, add information regarding the Water Conservation Stakeholder Committee on page 141, and add action items to pages 157-160 that incorporate State requirements for water conservation.

I do so with the following findings:

Example findings:

1. *The changes are supported by the Western Weber General Plan.*
2. *The proposal serves as an instrument to further implement the vision, goals, and principles of the Western Weber General Plan*
3. *The changes will enhance the general health and welfare of Western Weber residents.*
4. *[_____ add any other desired findings here _____]*

Motion for positive recommendation **with changes:**

I move we forward a positive recommendation to the County Commission for File # GPA2025-01, a planning staff-driven application to amend the Western Weber General Plan Culinary Water Use table on page 141, add information regarding the Water Conservation Stakeholder Committee on page 141, and add action items to pages 157-160 that incorporate State requirements for water conservation, **but with the following additional edits and corrections:**

Example of ways to format a motion with changes:

1. *Example: Extend the mixed residential to all four sides of the 3500 West 1800 South intersection.*
2. *Example: Amend staff's consideration item # []. It should instead read: [_____ desired edits here _____].*
3. *Etc.*

I do so with the following findings:

Example findings:

1. *The proposed changes are supported by the General Plan. [Add specifics explaining how.]*
2. *The proposal serves as an instrument to further implement the vision, goals, and principles of the General Plan*
3. *The changes will enhance the general health, safety, and welfare of residents.*
4. *[Example: allowing short-term rentals runs contrary to providing affordable long-term rental opportunities]*
5. *Etc.*

Motion to recommend **denial:**

I move we forward a positive recommendation to the County Commission for File # GPA2025-01, a planning staff-driven application to amend the Western Weber General Plan Culinary Water Use table on page 141, add information regarding the Water Conservation Stakeholder Committee on page 141, and add action items to pages 157-160 that incorporate State requirements for water conservation, **I do so with the following findings:**

Examples findings for denial:

- *Example: The proposal is not adequately supported by the General Plan.*
- *Example: The proposal is not supported by the general public.*

- *Example: The proposal runs contrary to the health, safety, and welfare of the general public.*
- *Example: The area is not yet ready for the proposed changes to be implemented.*
- [add any other desired findings here].

Exhibits

Exhibit A: See the next three pages.

The amended language is shown in red text. The black text will remain the same. The text with a strikethrough will be removed.

Amendments to pages 141, 142, 157-160

Revision to the first paragraph on page 141.

Throughout 2025, the Western Weber Water Conservation Stakeholder Committee met as an advisory board to recommend amendments to the general plan to create additional actions that would accomplish the water conservation goals of water districts and the goals of the As of the 2022 State of Utah Division of Water Resources. The Stakeholder Committee is also helpful in providing the county with estimated water demand. Legislative Session, general plans are now required to estimate water demand based on land use categories. While this requirement is not required to be fulfilled until 2026, this plan address it based on best available information at the time. The water demand statistics, based on land use categories This requirement should be updated regularly, revisited as better information becomes available.

Update table 11, page 141 with new data from TWWW. 2024 Data from TWWW District is included in the table below.

Taylor West Weber Water District-Culinary Water Use				
Land Use Category	Connections	Gallons Per Day	Gallons Per Unit Per Day	Gallons Per Capita Per Day (GPCD) Water Demand
Residential	2,895	310,443,000.00	293.70	100
Commercial	23	3,281,000.00	390.80	1.05
Institutional	20	7,971,000	1091.90	2.57
Agricultural/Industrial	47	15,834,000.00	922.90	5.12
Mining	No Data	No Data	No Data	No Data
Aquaculture	No Data	No Data	No Data	No Data
Power Generation	No Data	No Data	No Data	No Data
Source: Taylor West Weber Water District, Water Conservation Plan 2024				

Revision to Page 142

The Utah Division of Water Resources has set a goal to reduce the Weber River basin's per capita water consumption by 20 percent by 2030. They further desire to reduce it by 30 percent by the year 2065. The Division provided some valuable feedback in September 2024 for amendments that will set timelines for action items, continue coordination with water providers, identify agriculture ground you want to protect, and create a water demand projection overlaid on a future water supply projection.

Integrated throughout this Water Use and Preservation section, methods of reducing water demand and consumption are addressed pursuant to 17-27a-403.

Reach out the Dept. of Ag. And Food on questions from 9.2.3 Completed September 17, 2025, see Utilities and Public Services Action Item 1.2.11.

Utilities & Public Service Water Conservation Principal 1.2 Page 157-158

Utilities & Public Services Action Item 1.2.1: Cooperate and collaborate with the State of Utah, the Department of Agriculture and Food, and Weber Basin Water Conservancy District to achieve regional and state conservation goals.

Utilities & Public Services Action Item 1.2.2: Require water-wise educational signage with subdivision improvement plans. The water-wise education signage will to be posted throughout the development

~~and be posted above sinks in public restrooms and other facilities managed by the in which the public parks districts for the year 2025 and going forward. can access culinary water.~~

Utilities & Public Services Action Item 1.2.3: Collaborating with the State of Utah and Weber Basin Water Conservancy District, consider conducting a robust public education campaign that provides continual water-wise public messaging. Create programs to educate school-aged children about water conservation. Provide home maintenance funds to encourage the replacement of old or leaky plumbing or infrastructure for the year 2025 and going forward.

Utilities & Public Services Action Item 1.2.5: Require water-wise landscaping within the park strips along public rights-of-way. Encourage and incentivize water-wise landscaping and drip irrigation for residential development. Support and promote turf buy-back programs starting in the year 2025 and going forward.

Utilities & Public Services Action Item 1.2.7: The Weber County Planning Division will provide support for the enforcement of water-wise landscaping that is directed by the water districts for commercial and residential development.

Utilities & Public Services Action Item 1.2.8: Amend county site design review ordinance to adopt low water use landscape standards that will provide water savings that are 50 percent greater than what is planned in the Weber Basin Water Conservancy District or the State of Utah Water Conservation Plan.

Utilities & Public Services Action Item 1.2.9: Continue to support the county's existing regulation that limits the use of water-thirsty turf or lawn.

Utilities & Public Services Action Item 1.2.10: Consider regulation and incentives to reduce the use of sprinkler heads and support irrigation systems that are best adapted to provide the optimal amount for the types of plants being irrigated and the land area being irrigated.

Utilities & Public Services Action Item 1.2.11: Facilitate an annual public presentation, in the fall at the end of the harvest season, by the Department of Agriculture and Food for the Water Optimization Program.

Utilities & Public Service Principal 2.3 Page 160

Objective: The county will continue to support its existing ordinance that adequate water supplies and facilities are in place and operational prior to the issuance of building permits for all new subdivisions, and will extend the same to the site design review process.

Utilities & Public Services Action Item 2.3.3: Conduct mapping projects for each water providing entity to pinpoint areas of antiquated facilities and equipment, starting in the spring of 2026 and going forward.

Utilities & Public Services Action Item 2.3.4: Conduct a mapping project that specifies zones of historical water rights, starting in the spring of 2026 and going forward.

Utilities & Public Services Action Item 2.3.5: Provide support to the culinary, secondary, and irrigation water companies to seek out and apply for grants to fund the repairs, replacements, and upgrades to antiquated facilities.

Utilities & Public Services Action Item 2.3.6: Organize and distribute contact information of district representatives to encourage cooperation across the various public utility service entities every four months, starting in April, 2026.

Utilities & Public Services Action Item 2.3.7: Cooperation between the county planning staff and the water entities for the water conservation elements included with each development agreement.

Utilities & Public Services Action Item 2.3.8: Avoid unnecessary water evaporation of ponds, pools, and other sources of open water.

Utilities & Public Services Action Item 2.3.9: Cooperate with the water entities to create means for land development in areas that do not have historical water rights, through the use of restrictive covenants and water service agreements.

